

# Applegreen - Project Bronco

9000 E-470 Commerce City Northbound

## DEVELOPMENT PERMIT PLAN

A PORTION OF THAT PARCEL OF LAND AS SHOWN ON THE RIGHT-OF-WAY PLANS OF E-470 SEGMENT 2, PREPARED FOR THE E-470 PUBLIC HIGHWAY AUTHORITY OF THE STATE OF COLORADO, FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER AT RECEPTION NO. 2007-067 (BK. 1 PG. 3276). SAID PARCEL OF LAND IS LOCATED IN THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 66 WEST, OF THE 6TH PM CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

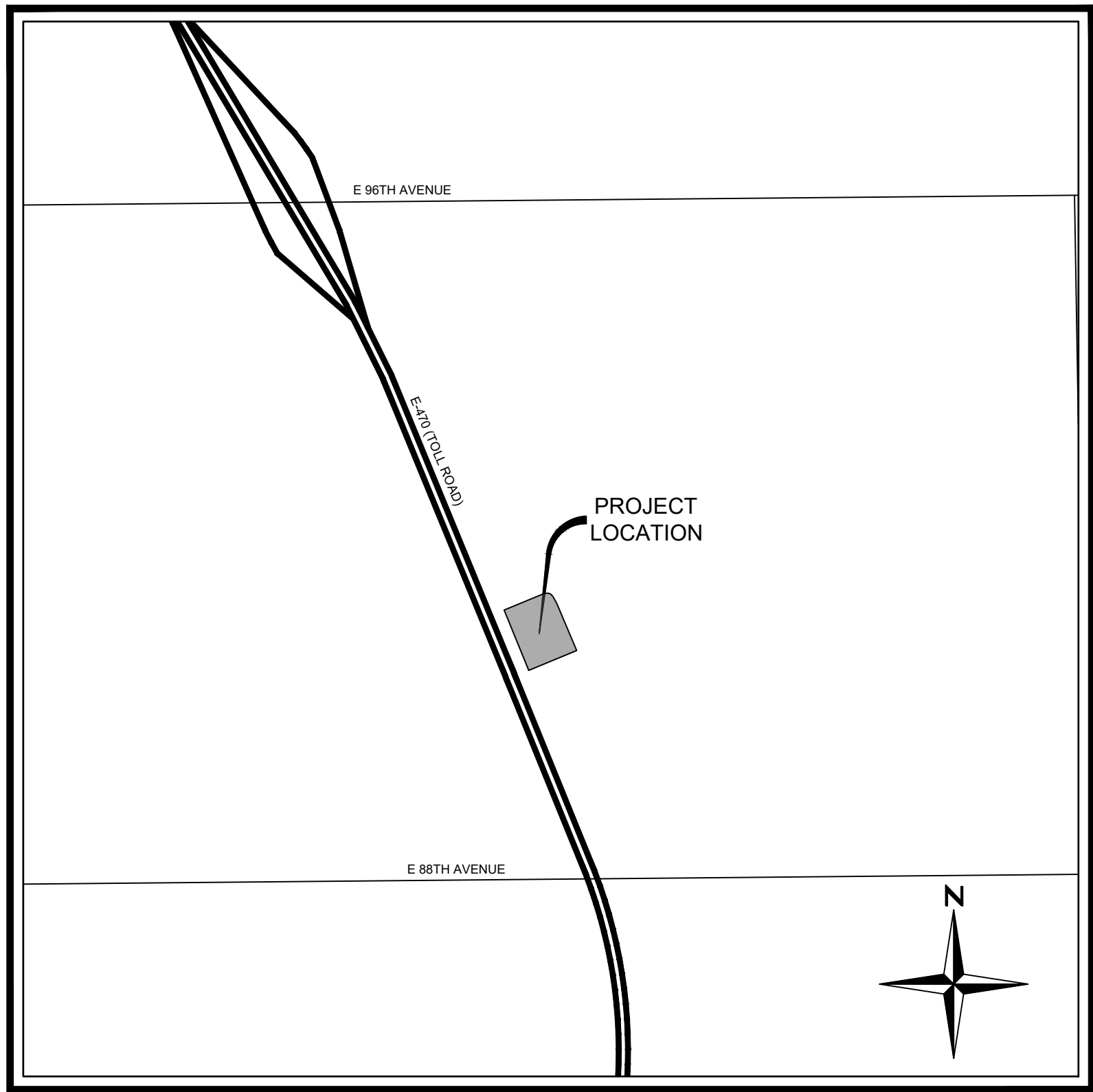
## PROJECT TEAM

**LAND OWNER**  
E-470 Public Highway Authority  
22470 E. Stephen D. Hogan Parkway, Suite 100  
Aurora, CO 80018  
CONTACT: Chuck Weiss  
Email: cweiss@e-470.com

**ARCHITECTURE**  
dcb Construction Company, Inc.  
909 E. 62nd Ave.  
Denver, CO 80216  
303.287.5525  
CONTACT: Brian Hornung  
Email: bhornung@dcb1.com

**SURVEYOR**  
LW Survey Company  
12345 W Alameda Pkwy  
Lakewood, CO 80228 Suite 205  
303.658.0358  
Contact: Rick Calvert  
Email: Rick.Calvert@lwsurvey.com

**CIVIL ENGINEER**  
Redland  
1500 W. Canal Ct.  
Littleton, CO 80120  
720.283.6783 voice  
CONTACT: Mark Cevaai, P.E.  
Email: mcevaal@redland.com



VICINITY MAP  
SCALE: 1" = 1000'

SITE DATA TABLE		
A	B	C
DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED
ZONING	REZONE FROM AG	C3
PARCEL AREA AND LOT WIDTH	-	4.4 ACRES (191,465 SF)
PERMITTED UESSES	-	ALLOWED
BUILDING MAX HEIGHT	50 FEET	26 FEET
MINIMUM BUILDING SETBACKS	10 FEET	> 10'
MINIMUM PARKING SETBACKS	-	
MAXIMUM BUILDING SETBACKS	-	N/A
BUILDING AREA	-	8,200 SF
PARKING	64 REGULAR + 4 TRAILER REQUIRED	69 STANDARD + 7 EV + 4 TRAILER
ADA PARKING	3	4 + 1 EV
BICYCLE PARKING	N/A	N/A
LOADING ZONE	1	1
LANDSCAPE SURFACE RATIO		50.4%
TYPE OF BUILDING CONSTRUCTION AND OCCUPANCY		
ESTIMATED NUMBER OF EMPLOYEES		

City Staff Certificate:  
Approved by the Department of Community Development of the City of Commerce City, this \_\_\_\_ day of \_\_\_\_, 20 \_\_\_\_.  
Department of Community Development

City Council Certificate:  
Approved by the City of Commerce City, the \_\_\_\_ day of \_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
City Signature

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### LIGHTING NOTE:

IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND OF PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES

### TRASH ENCLOSURE NOTE:

TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING

### SCREENING NOTE:

ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING

### SIGNAGE NOTE:

APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. **THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN.** ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS

### FENCING NOTE:

APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.

### DOWNSPOUT NOTE:

NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.

### AMERICAN WITH DISABILITIES NOTE:

THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

### CONSTRUCTION NOTE:

THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

### UNDERGROUND UTILITY NOTE:

ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

NOTE: PAVEMENT SECTION IS BASED ON THE GEOTECHNICAL ENGINEERING STUDY FOR PROPOSED APPLEGREEN PROJECT NORTHBOUND COMMERCE CITY SITE, PREPARED BY GROUND ENGINEERING, INC. DATED DECEMBER 7, 2021.



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COVER SHEET  
SHEET: 01 OF 16



# Applegreen - Project Bronco

9000 E-470 Commerce City Northbound

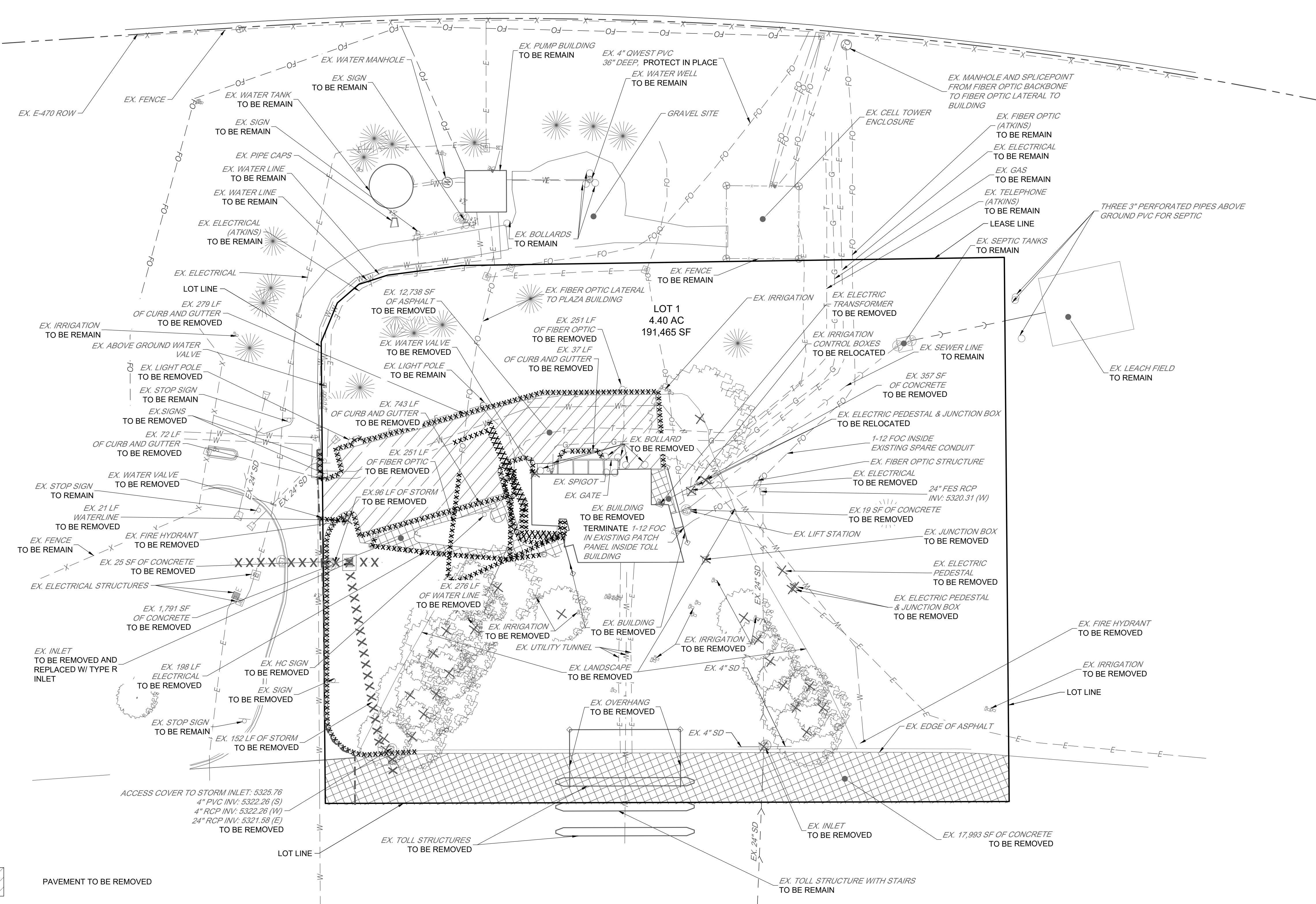
## DEVELOPMENT PERMIT PLAN

A PORTION OF THAT PARCEL OF LAND AS SHOWN ON THE RIGHT-OF-WAY PLANS OF E-470 SEGMENT 2,  
PREPARED FOR THE E-470 PUBLIC HIGHWAY AUTHORITY OF THE STATE OF COLORADO, FILED FOR RECORD IN  
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SECTION 23, TOWNSHIP 2 SOUTH, RANGE 66 WEST, OF THE 6TH PM  
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

### EXISTING LEGEND

---	PROPERTY LINE
---	R.O.W.
---	LOT LINE
---	EASEMENT LINE
---	SECTION LINE
---	ROAD CENTERLINE
---	EDGE OF PAVEMENT
---	CURB AND GUTTER
---	CONCRETE
---	FENCE
---	RETAINING WALL
---	WATER LINE
---	RAW WATER LINE
---	NON-POTABLE WATER LINE
---	IRRIGATION LINE
---	SANITARY SEWER
---	STORM SEWER
---	ELECTRIC LINE
---	GAS LINE
---	TELEPHONE LINE
---	FIBER OPTICS LINE
---	OVERHEAD ELECTRIC LINE
---	CABLE TELEVISION

Date	Submission / Revision
12/30/2021	1st DEV. Permit Sub.



### NOTE:

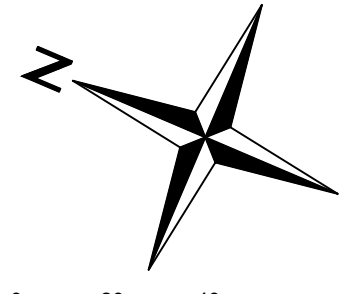
1. IMPROVEMENTS FOR THE APPROACH FROM E-470 MAIN LINE AND DEPARTURE BACK TO E-470 MAINLINE ARE BEING PREPARED BY E-470 PUBLIC HIGHWAY AUTHORITY.

### LEGEND

XXXXXX	PAVEMENT TO BE REMOVED
XXXXXX	CONCRETE TO BE REMOVED
XXXXXX	LIMITS OF DISTURBANCE / SAWCUT LINE
XXXXXX	DEMOLITION



Know what's below.  
Call before you dig.



SCALE: 1" = 40'

DEMOLITION PLAN  
SHEET: 02 OF 16



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## DEVELOPMENT PERMIT PLAN

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12/30/2021	1st DEV. Permit Sub.

### PAVING LEGEND

	PROPOSED ASPHALT PAVEMENT - DRIVE LANE 4-INCHES ASPHALT OVER 8-INCHES AGGREGATE BASE COURSE ON PREPARED SUBGRADE
	PROPOSED CONCRETE SIDEWALK 4-INCHES CONCRETE
	PROPOSED CONCRETE PAVEMENT 6-INCHES CONCRETE

NOTE: PAVEMENT SECTION IS BASED ON THE GEOTECHNICAL ENGINEERING STUDY FOR PROPOSED APPLGREEN PROJECT NORTHBOUND COMMERCE CITY SITE, PREPARED BY GROUND ENGINEERING, INC. DATED DECEMBER 7, 2021.

PROJECT STATISTICS	
GROSS ACREAGE OF SITE	4.42 AC
NET ACREAGE OF SITE	
SQUARE FOOTAGE OF EXISTING BUILDING	5,547 SF
SQUARE FOOTAGE OF PROPOSED BUILDING	8,200 SF
NET SQUARE FOOTAGE OF ALL LANDSCAPE AREAS (INCLUDING WITHIN THE RIGHT OF WAY)	
LOT COVERAGE AND FAR OF ALL BUILDINGS AND STRUCTURES AS A PERCENTAGE OF THE TOTAL NET AREA OF THE SITE	
NUMBER OF PARKING SPACES REQUIRED	64
NUMBER OF PARKING SPACES PROVIDED	73
TYPE OF BUILDING CONSTRUCTION AND OCCUPANCY	
THE CURRENT AND THE REQUESTED ZONING DESIGNATION	
ESTIMATED NUMBER OF EMPLOYEES	
NUMBER OF FIXED SEATS	

### PROPOSED LEGEND

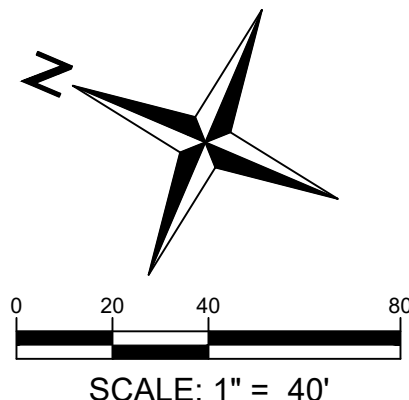
	PROPERTY LINE
	R.O.W.
	LOT LINE
	SETBACK
	EASEMENT
	ROAD CENTERLINE
	CURB AND GUTTER
	SIDEWALK
	LIMITS OF CONSTRUCTION / SAWCUT
	SANITARY SEWER
	WATER LINE

### NOTE:

- IMPROVEMENTS FOR THE APPROACH FROM E-470 MAIN LINE AND DEPARTURE BACK TO E-470 MAINLINE ARE BEING PREPARED BY E-470 PUBLIC HIGHWAY AUTHORITY.

### PARKING SUMMARY

REQUIRED SPACES	REQUIRED ACCESSIBLE SPACES	REQUIRE VAN ACCESSIBLE	TOTAL SPACES	STANDARD SPACES	ACCESSIBLE SPACES	VAN ACCESSIBLE SPACES
64	4	1	73	69	3	1
REQUIRED BUS SPACES			TOTAL BUS SPACES			
4						
REQUIRED EV SPACES			TOTAL EV SPACES	STANDARD EV SPACES	ACCESSIBLE EV SPACES	
0			8	7	1	



SITE PLAN  
SHEET: 03 OF 16



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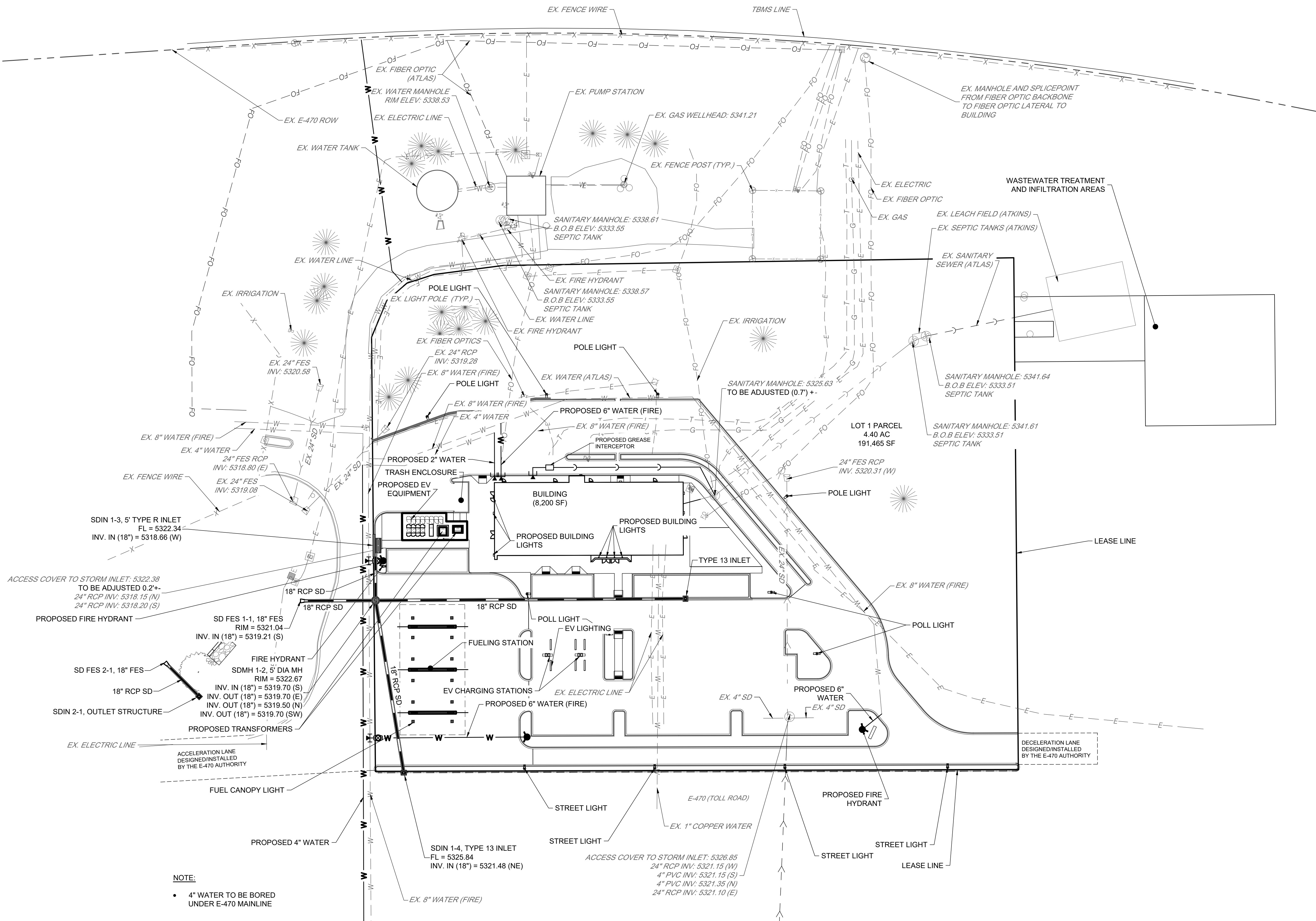


# Applegreen - Project Bronco

9000 E-470 Commerce City Northbound

## DEVELOPMENT PERMIT PLAN

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### EXISTING LEGEND

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---	SANITARY SEWER
---	STORM SEWER
---	ELECTRIC LINE
---	GAS LINE
---	TELEPHONE LINE
---	FIBER OPTICS LINE
---	OVERHEAD ELECTRIC LINE
---	CABLE TELEVISION

### PROPOSED LEGEND

---	PROPERTY LINE
---	R.O.W.
---	LOT LINE
---	SETBACK
---	EASEMENT
---	ROAD CENTERLINE
---	CURB AND GUTTER
---	SIDEWALK
---	LIMITS OF CONSTRUCTION / SAWCUT
---	SANITARY SEWER
---	WATER LINE

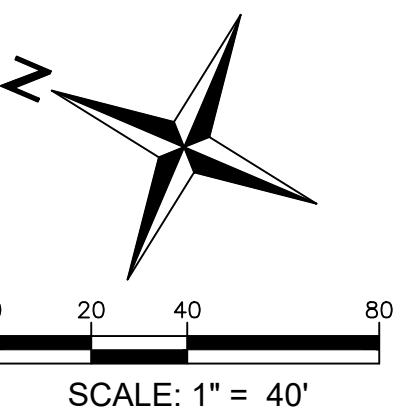
#### NOTE:

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#### NOTE:

- 4" WATER TO BE BORED UNDER E-470 MAINLINE

Date	Submission / Revision
12/30/2021	1st DEV. Permit Sub.



UTILITY PLAN  
SHEET: 04 OF 16



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## 9000 E-470 Commerce City Northbound

# DEVELOPMENT PERMIT PLAN












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### EXISTING LEGEND

	PROPERTY LINE
	R.O.W.
	LOT LINE
	EASEMENT LINE
	SECTION LINE
	ROAD CENTERLINE
	EDGE OF PAVEMENT
	CURB AND GUTTER
	CONCRETE
	FENCE
	CONTOUR MAJOR
	CONTOUR MINOR

### PROPOSED LEGEND

	PROPERTY LINE
	R.O.W.
	LOT LINE
	SETBACK
	EASEMENT
	ROAD CENTERLINE
	CURB AND GUTTER
	SIDEWALK
	LIMITS OF CONSTRUCTION / SAWCUT
	SANITARY SEWER
	WATER LINE

## EARTHWORK

CUT: 199 CY  
FILL: 2,896 CY  
NET: 2,697 IMPORT

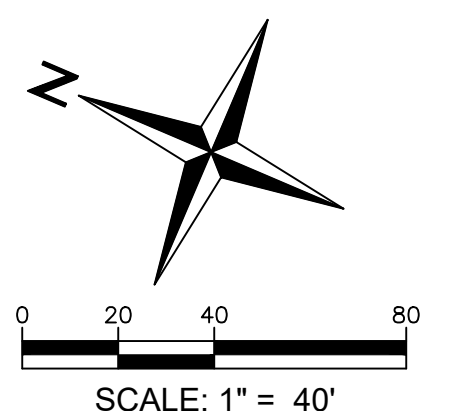
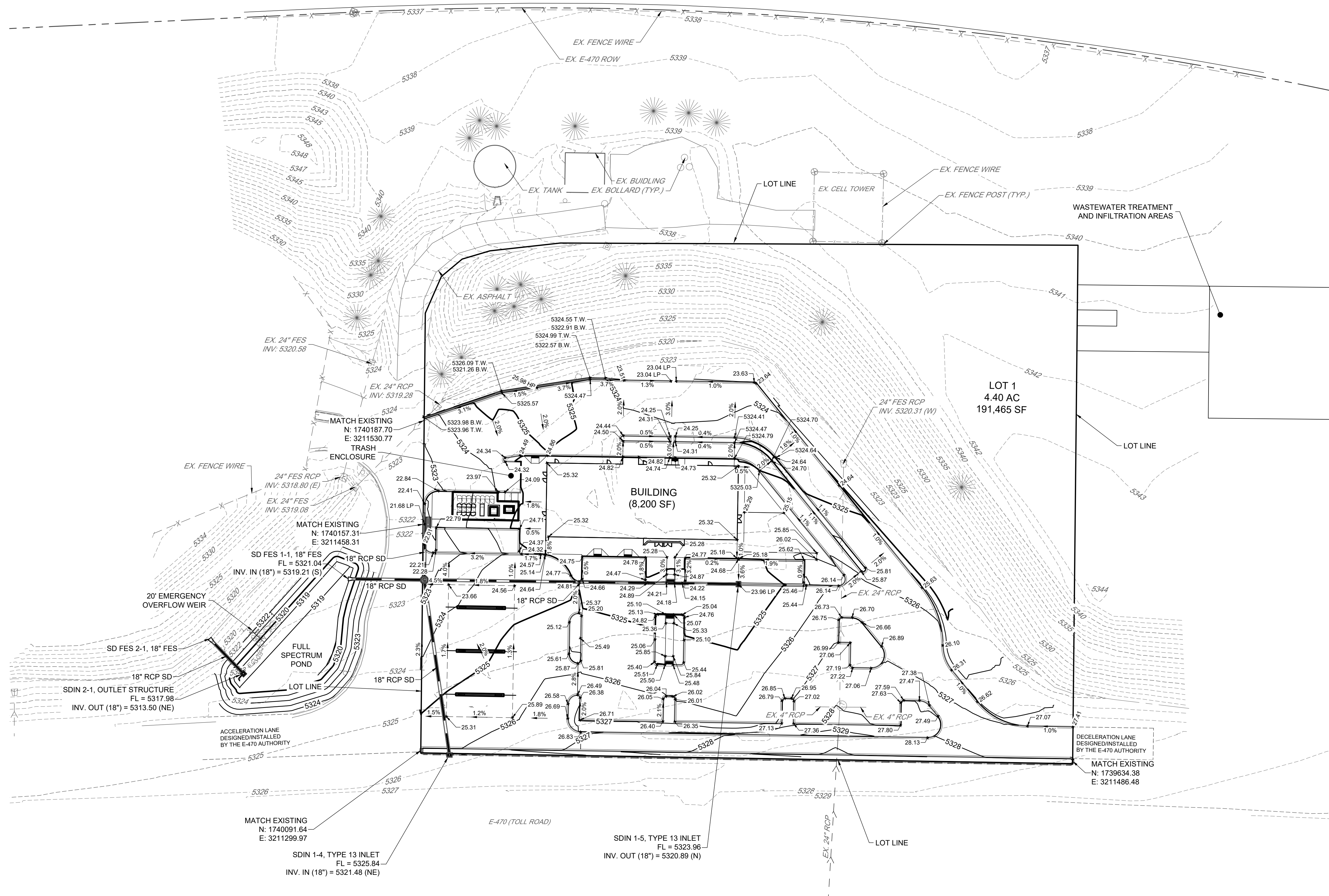
## ASSUMPTIONS

6" EXISTING ASPHALT  
6" CONCRETE PAVEMENT  
4" EXISTING SIDEWALK  
6" BUILDING SLAB  
15' EXISTING BASEMENT TO BE FILLED  
7" PROPOSED ASPHALT  
4" PROPOSED SIDEWALK  
8" PROPOSED BUILDING SLAB  
DOES NOT INCLUDE TOP SOIL STRIPPING OR PLACEMENT,  
UTILITY SPOILS, OR OVER-EXCAVATION

NOTE: PAVEMENT SECTION IS BASED ON THE  
GEOTECHNICAL ENGINEERING STUDY FOR  
PROPOSED APPLGREEN PROJECT NORTH BOUND  
COMMERCE CITY SITE, PREPARED BY GROUND  
ENGINEERING, INC. DATED DECEMBER 7, 2021.

NOTE

1. IMPROVEMENTS FOR THE APPROACH FROM E-470 MAIN LINE AND DEPARTURE BACK TO E-470 MAINLINE ARE BEING PREPARED BY E-470 PUBLIC HIGHWAY AUTHORITY.



**GRADING PLAN  
SHEET: 05 OF 16**



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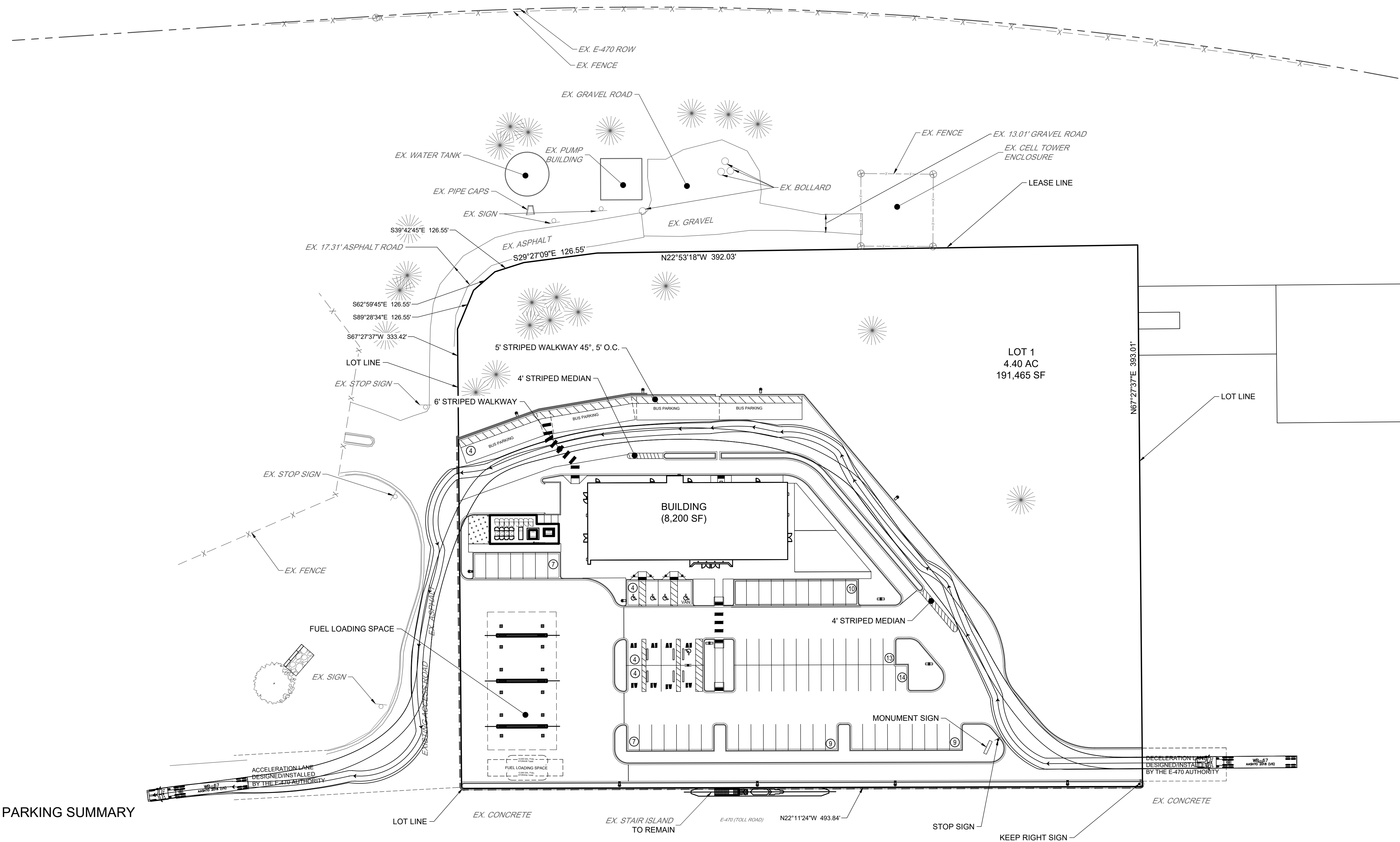
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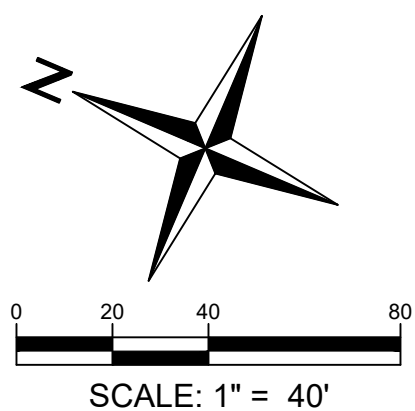
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Date	Submission / Revision
12/30/2021	1st DEV. Permit Sub.



PARKING SUMMARY



TRUCK CIRCULATION PLAN  
SHEET: 06 OF 16



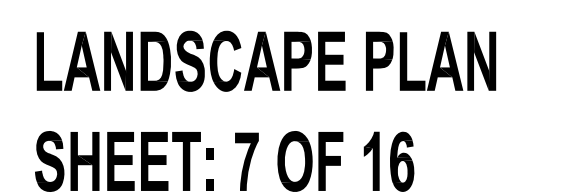
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[illegible]

## DEVELOPMENT PERMIT PLAN

LANDSCAPE LEGEND





# Applegreen - Project Bronco

9000 E-470 Commerce City Northbound  
PIN XXXXXXXXXXXX

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Date	Submission / Revision
12/28/2021	1st DEV. Permit Sub.

### PLANT MATERIAL SCHEDULE:

QUAN.	SYM.	COMMON/BOTANICAL NAME	INSTALLED SIZE	COND.	WATER NEEDS
<input type="checkbox"/> DECIDUOUS TREES					
2	kc	KENTUCKY COFFEE TREE Gymnocladus dioicus	2" CAL. SINGLE TRUNK	B & B	xeric
4	ic	IMPERIAL HONEYLOCUST Gleditsia triacanthos inermis 'Redmond'	2" CAL. SINGLE TRUNK	B & B	xeric
2	wc	WESTERN CATALPA Catalpa speciosa	2" CAL. SINGLE TRUNK	B & B	xeric
3	ch	COMMON HACKBERRY Celtis Occidentalis	2" CAL. SINGLE TRUNK	B & B	xeric
7	co	CHINKAPIN OAK Quercus muehlenbergii	2" CAL. SINGLE TRUNK	B & B	MODERATE
2	eo	ENGLISH OAK Quercus robur	2" CAL. SINGLE TRUNK	B & B	LOW- MEDIUM
<input type="checkbox"/> ORNAMENTAL TREES					
6	pc	CHANTICLEER PEAR Pyrus calleryana	1 1/2" CAL. SINGLE TRUNK	B & B	MEDIUM
9	qs	CRIMSON SPIRE OAK Quercus crimschmidf	1 1/2" CAL. SINGLE TRUNK	B & B	MEDIUM
<input type="checkbox"/> EVERGREEN TREES					
3	pe	PONDEROSA PINE Pinus ponderosa	6' HT.	B & B	xeric
13	ap	AUSTRIAN PINE Pinus nigra	6' HT.	B & B	LOW - MEDIUM
<input type="checkbox"/> DECIDUOUS SHRUBS					
17	rb	RABBITBRUSH Chrysothamnus sp.	5 GAL.	CONT.	XERIC
15	ss	SNOWMOUND SPIREA Spiraea nipponica 'Snowmound'	5 GAL.	CONT.	LOW
16	ea	BURNING BUSH 'Dwarf Nana' Eounymus alata 'Dwarf Nana'	5 GAL.	CONT.	MEDIUM
7	db	DWARF NINEBARK Physocarpus opulifolius 'Nanus'	5 GAL.	CONT.	LOW
40	bm	BLUE MIST SPIREA Caryopteris x clandonensis	5 GAL.	CONT.	MEDIUM
9	is	ISANTI DOGWOOD Cornus sericea "Isanti"	5 GAL.	CONT.	LOW
69	aw	ANTHONY WATERER SPIREA Spirea japonica 'Anthony Waterer'	5 GAL.	CONT.	LOW
21	ra	GROW LOW FRAGRANT SUMAC Rhus aromatica 'Gro Low'	5 GAL.	CONT.	LOW
23	dk	DAKOTA SUNSPOT POTENTILLA Potentilla fruticosa 'Fargo'	5 GAL.	CONT.	LOW
44	sj	ST. JOHNS WORT Hypericum Frondosum 'Sunburst'	5 GAL.	CONT.	LOW
<input type="checkbox"/> ORNAMENTAL GRASSES					
65	kf	KARL FOERSTER FEATHER REED Calamagrostis acuti. 'Karl Foerster'	1 GAL.	CONT.	LOW
40	dm	DWARF MAIDEN GRASS Miscanthus sinensis 'Yaku Jima';	1 GAL.	CONT.	LOW
8	dl	DAYLILY DWARF He,erocallis 'Stella D'Oro'	1 GAL.	CONT.	xeric
69	kr	FOUNTAIN HARDY GRASS 'DWARF' Pennisetum alopecuroides 'Hamelin'	1 GAL.	CONT.	xeric

LANDSCAPE CALCULATIONS
SITE AREA: 191,465 SF.
PROVIDED LANDSCAPE AREA: 98,711 SF.
UNDISTURBED AREA: 80,608 SF.
IMPROVED LANDSCAPE AREA: 18,103 SF.
RIGHT OF WAY AREA: N/A
PARKING LOT
REQUIRED TREES (1/30 LF): 244 Inft. / 30 = 8 Trees
REQUIRED SHRUBS (5/30 SF): 244 Inft. / 30(5) = 41 shrubs
PROVIDED TREES: 9
PROVIDED SHRUBS: 55
STREET TREES - N/A
PARKING ISLANDS - 16 ISLANDS
REQUIRED TREES 1 TREE PER ISLAND = 16
REQUIRED SHRUBS 6 SHRUBS PER ISLAND = 96
PROVIDED TREES: 16 TREES
PROVIDED SHRUBS: 127
DETENTION PERIMETER(S): 375 LF.
REQUIRED TREES (1/50 LF): 8 TREES
REQUIRED SHRUBS (10/50 SF): 75 SHRUBS
PROVIDED TREES: 10 TREES
PROVIDED SHRUBS: 38 + (4 TREES equals = 40 shrubs) - TOTAL - 78 SHRUBS
BUFFER YARD: N/A
ENTIRE YARD (IMPROVED LANDSCAPE AREA) - 18,103 SF.
REQUIRED TREES (1/600 SF): 30
REQUIRED SHRUBS (1/300 SF): 62
OVERALL PROVIDED TREES: 51
OVERALL PROVIDED SHRUBS: 443
TURF AREA:
MAXIMUM TURF AREA (50% LANDSCAPE AREA): 49,355.50 SF.
PROVIDED TURF AREA: 0 SF. (0%)
LIVE PLANT MATERIAL:
REQUIRED LIVE PLANT AREA (75% LANDSCAPE AREA): 74,033.25 SF.
PROVIDED LIVE PLANT AREA: 86%

### GENERAL PLANTING NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (⅔) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (⅓) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- COMMERCIAL GRADE ⅝ INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- PLANT SYMBOLS ON SHEET L1.0 ARE SYMBOLS ONLY. CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF PLANT SPECIES PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORTS AND CIVIL UTILITY LAYOUT PLANS.

### PERFORMANCE GUARANTEE:

- ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF TWO YEARS FROM SUBSTANTIAL COMPLETION OF THE PROJECT.



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LANDSCAPE NOTES  
SHEET: 8 OF 16

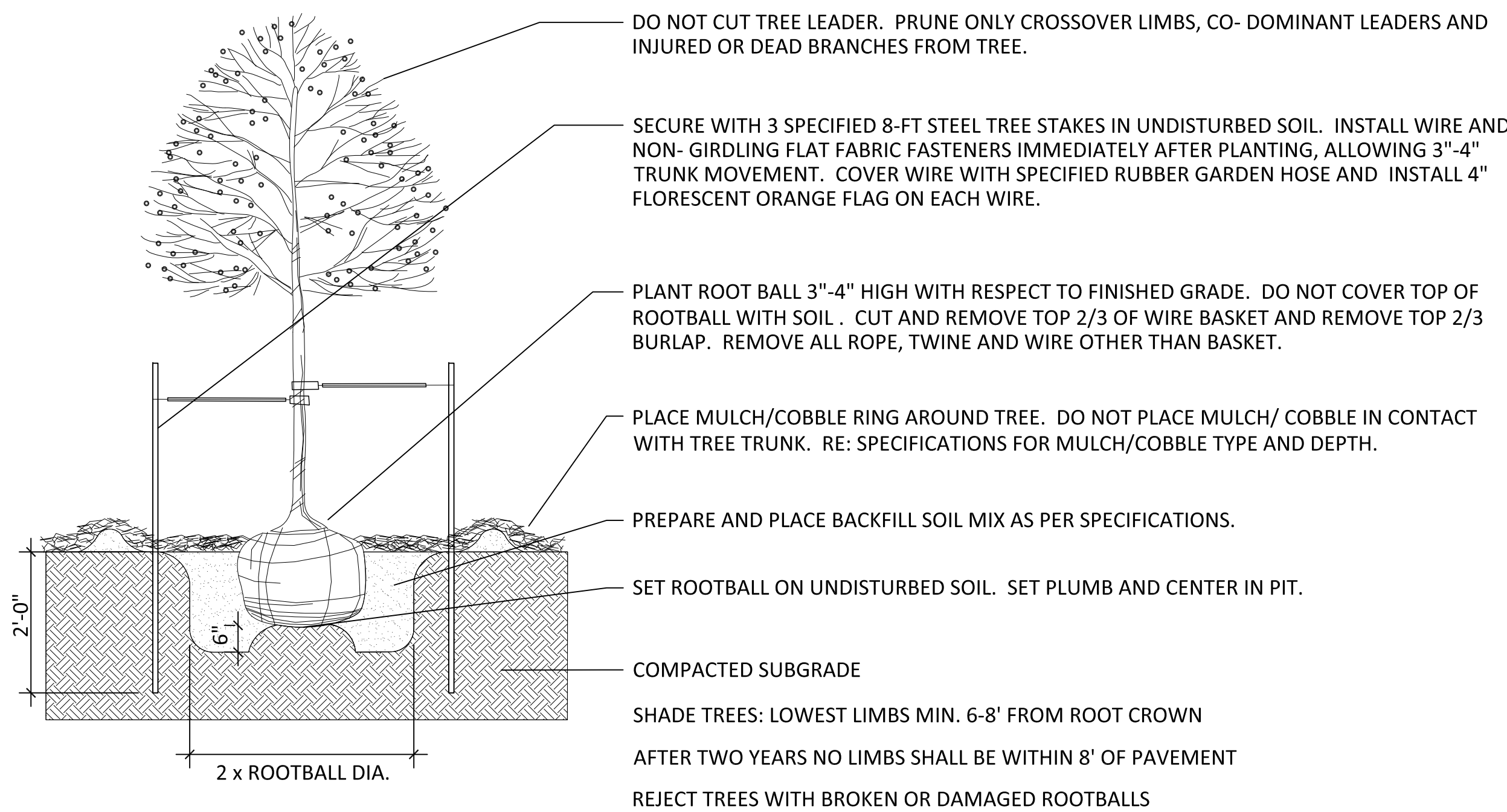


# Applegreen - Project Bronco

9000 E-470 Commerce City Northbound  
PIN XXXXXXXXXXXX

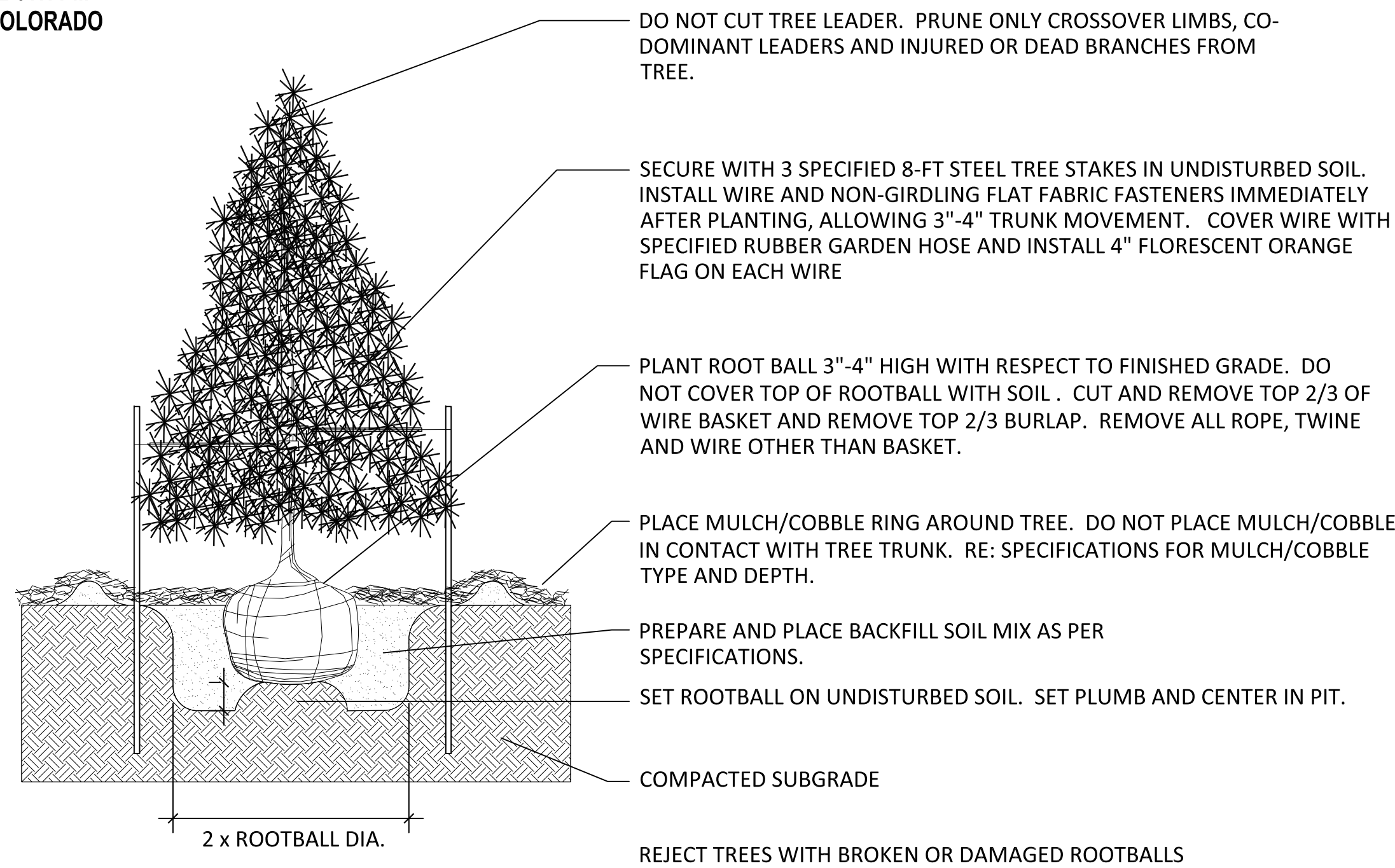
## DEVELOPMENT PERMIT PLAN

A PORTION OF THAT PARCEL OF LAND AS SHOWN ON THE RIGHT-OF-WAY PLANS OF E-470 SEGMENT 2,  
PREPARED FOR THE E-470 PUBLIC HIGHWAY AUTHORITY OF THE STATE OF COLORADO, FILED FOR RECORD IN  
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SAID PARCEL OF LAND IS LOCATED IN THE SOUTHWEST QUARTER OF  
SECTION 23, TOWNSHIP 2 SOUTH, RANGE 66 WEST, OF THE 6TH PM  
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



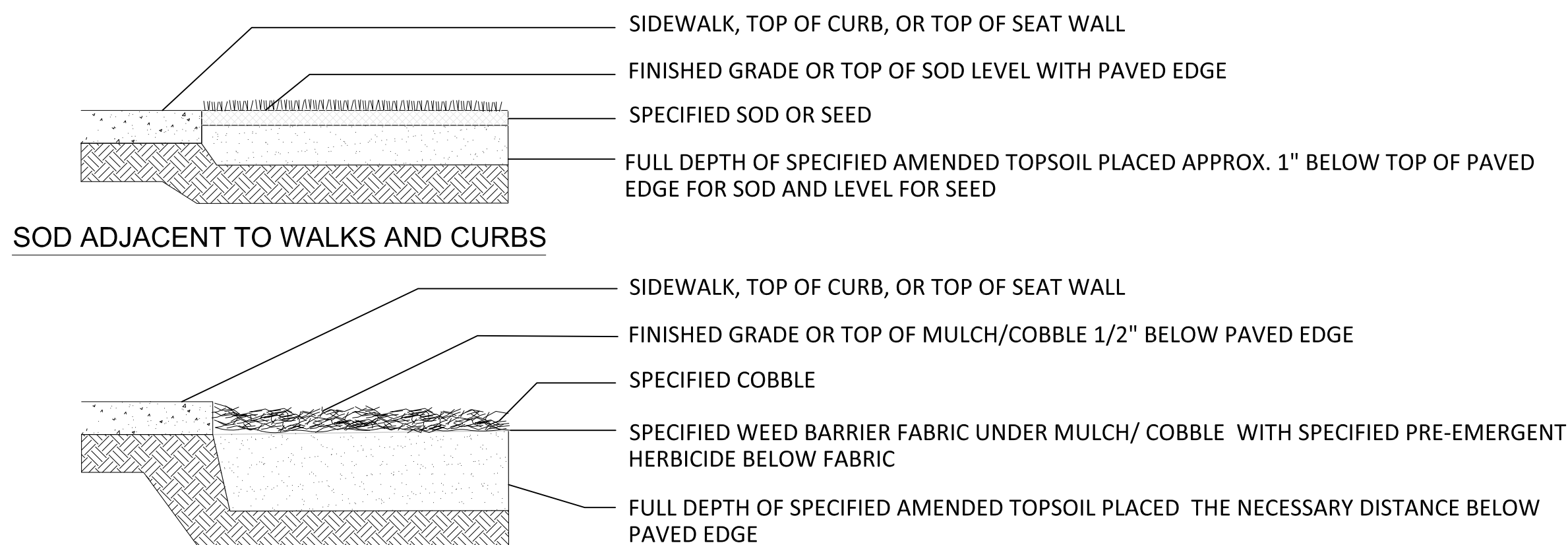
1 DECIDUOUS TREE

NOT TO SCALE

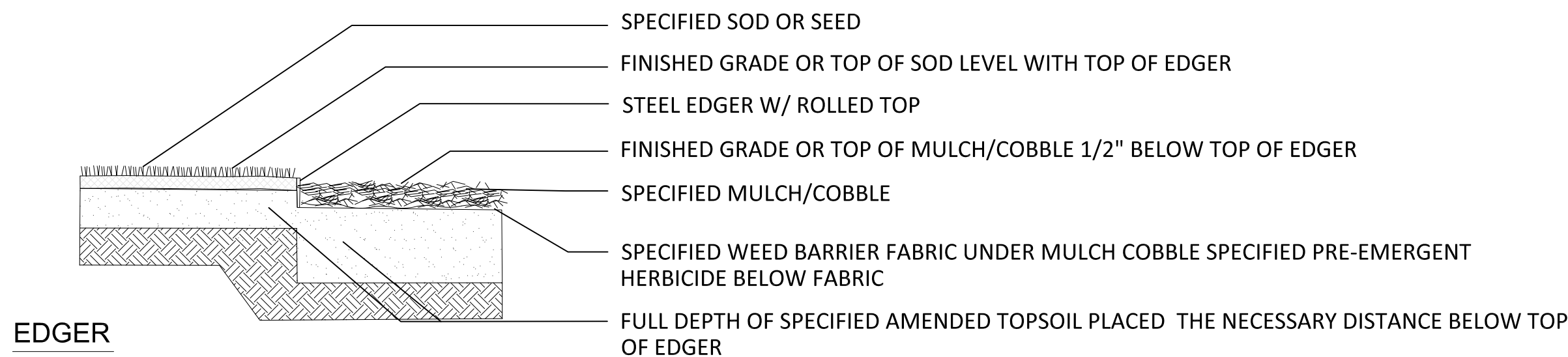


2 EVERGREEN TREE PLANTING

NOT TO SCALE

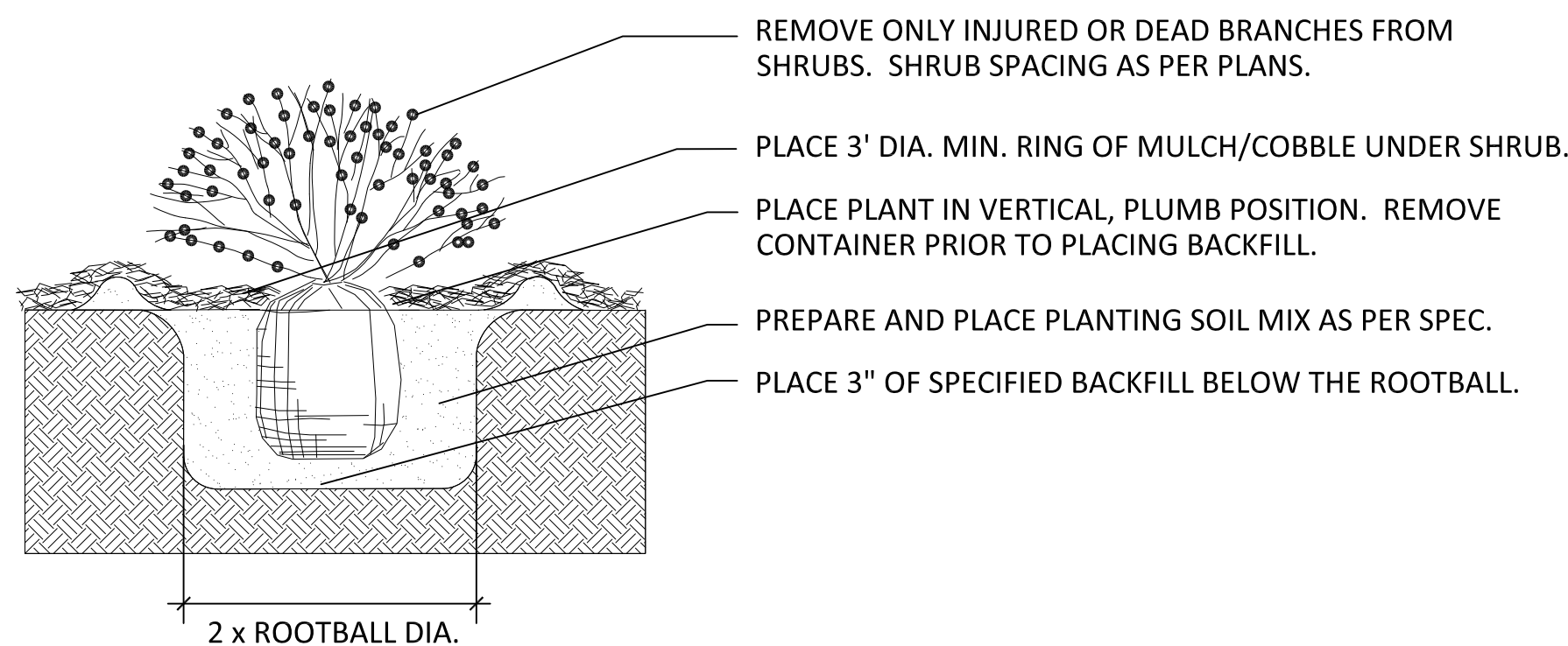


MULCH ADJACENT TO WALKS AND CURBS



3 EDGE TREATMENT

NOT TO SCALE



4 SHRUB PLANTING

NOT TO SCALE

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LANDSCAPE DETAILS  
SHEET: 9 OF 16



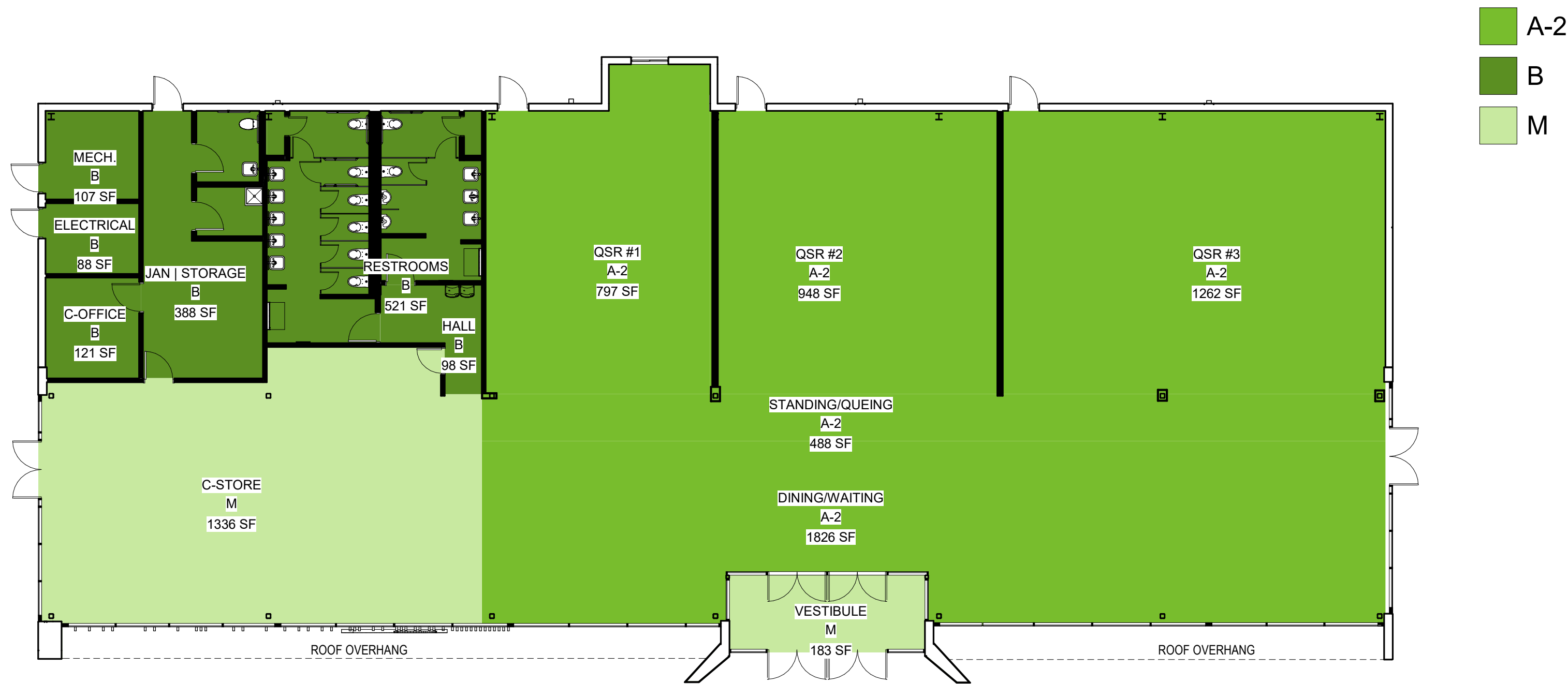
# Applegreen - Project Bronco

9000 E-470 Commerce City Northbound

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CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

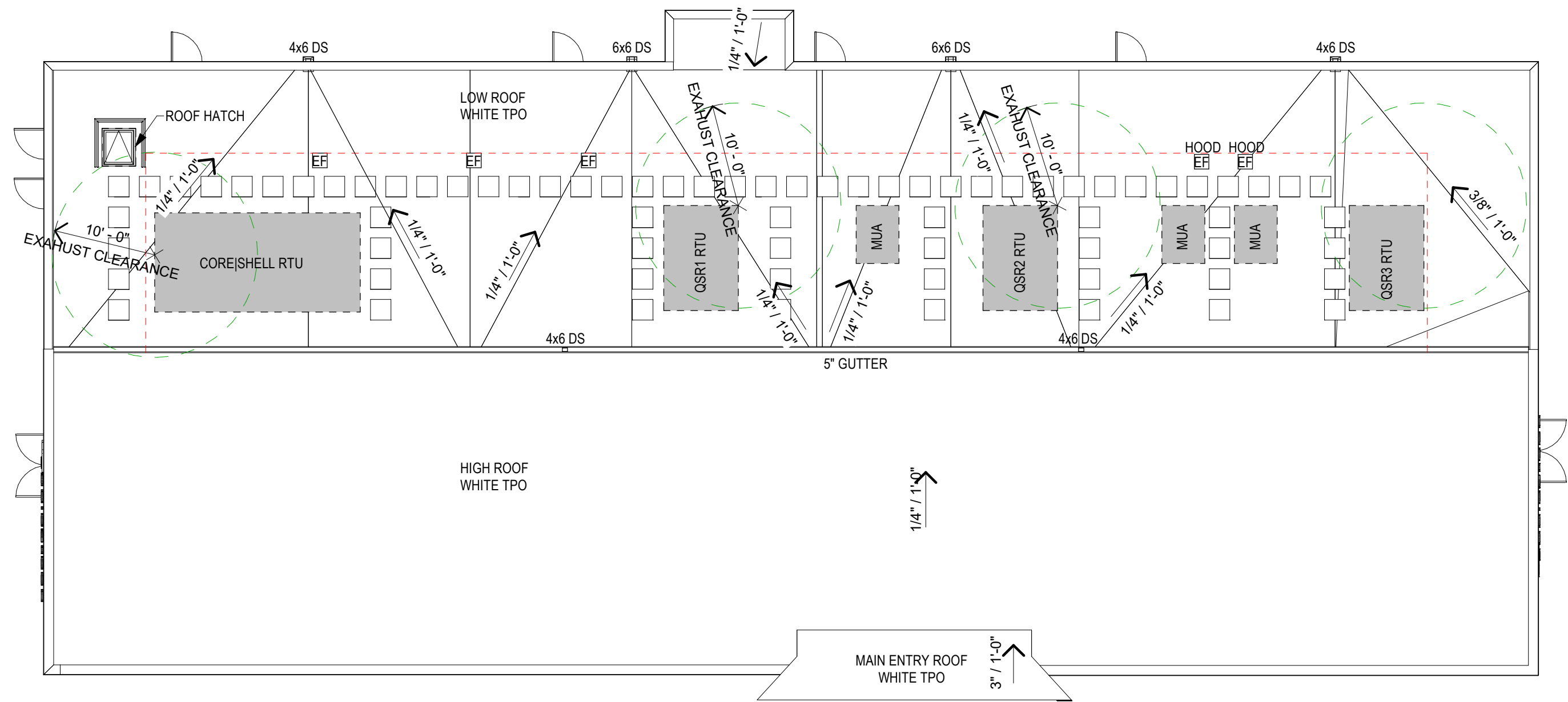
Date	Submission / Revision
12/30/2021	1st DEV. Permit Sub.



### PARKING CALCULATIONS

Required Spaces:	
Restaurants(A-2):	5321 GSF/100 = 54 spaces
Commercial(M-B):	2842 GSF/ 300 = 10 spaces
Total Regular:	64 spaces
Total Pull-Through:	64 x 0.05 = 4 spaces
Total Required:	68 spaces
Provided Spaces:	
Regular:	69 spaces
Disabled:	4 spaces
Electrical Vehicle Charging:	8 spaces
Pull-Through:	4 spaces
Total Provided:	85 spaces

1 FLOOR PLAN  
3/32" = 1'-0"  
0' 1' 2' 4' 8'  
NORTH



2 ROOF PLAN  
3/32" = 1'-0"  
0' 1' 2' 4' 8'  
NORTH

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FLOOR AND  
ROOF PLANS  
SHEET:10 OF 16

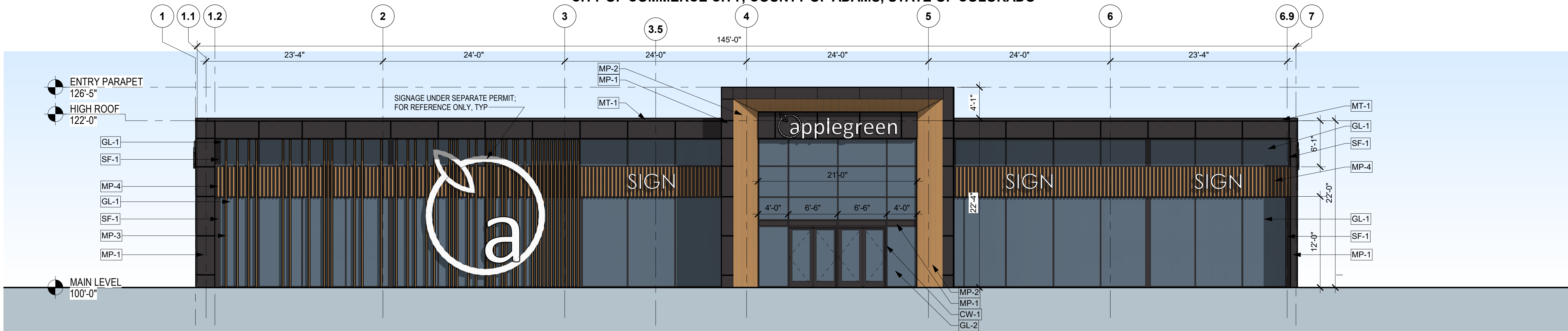


# Applegreen - Project Bronco

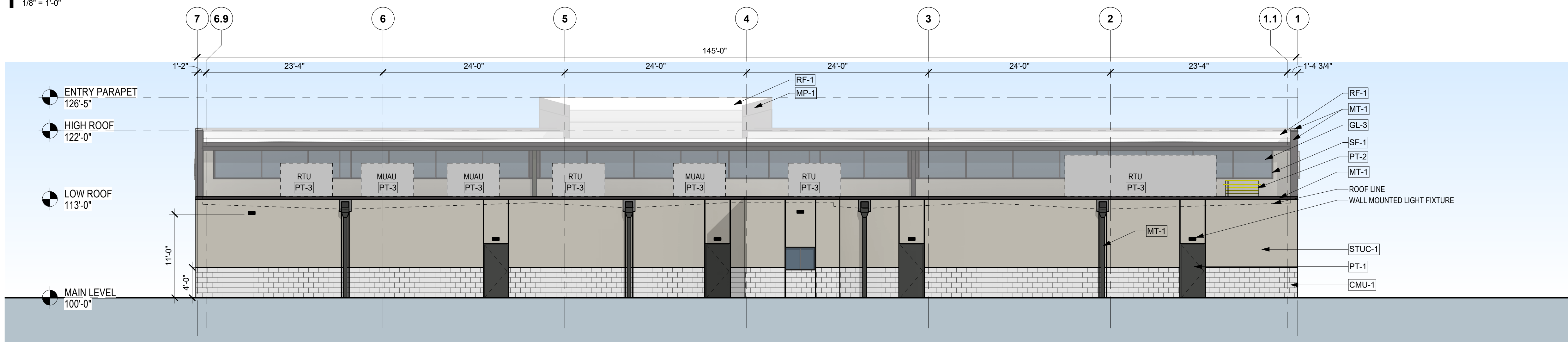
9000 E-470 Commerce City Northbound

## DEVELOPMENT PERMIT PLAN

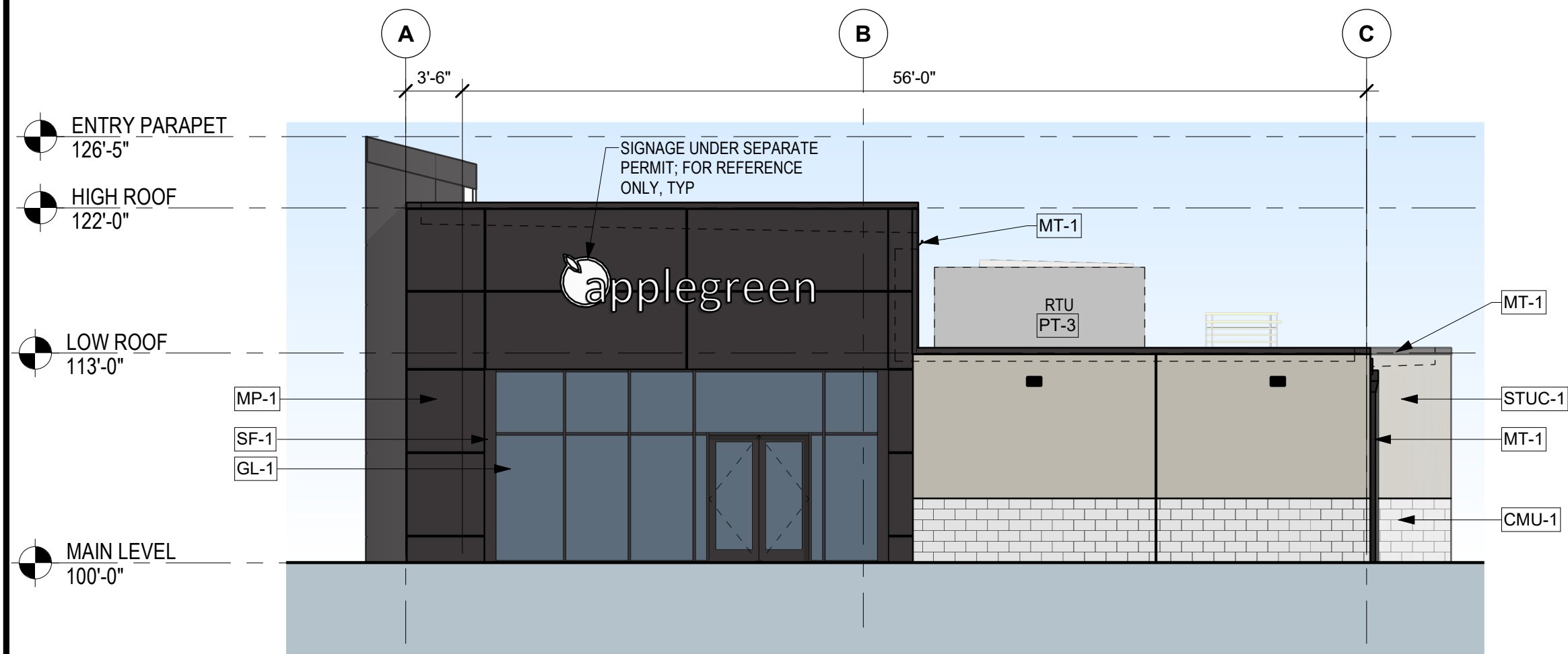
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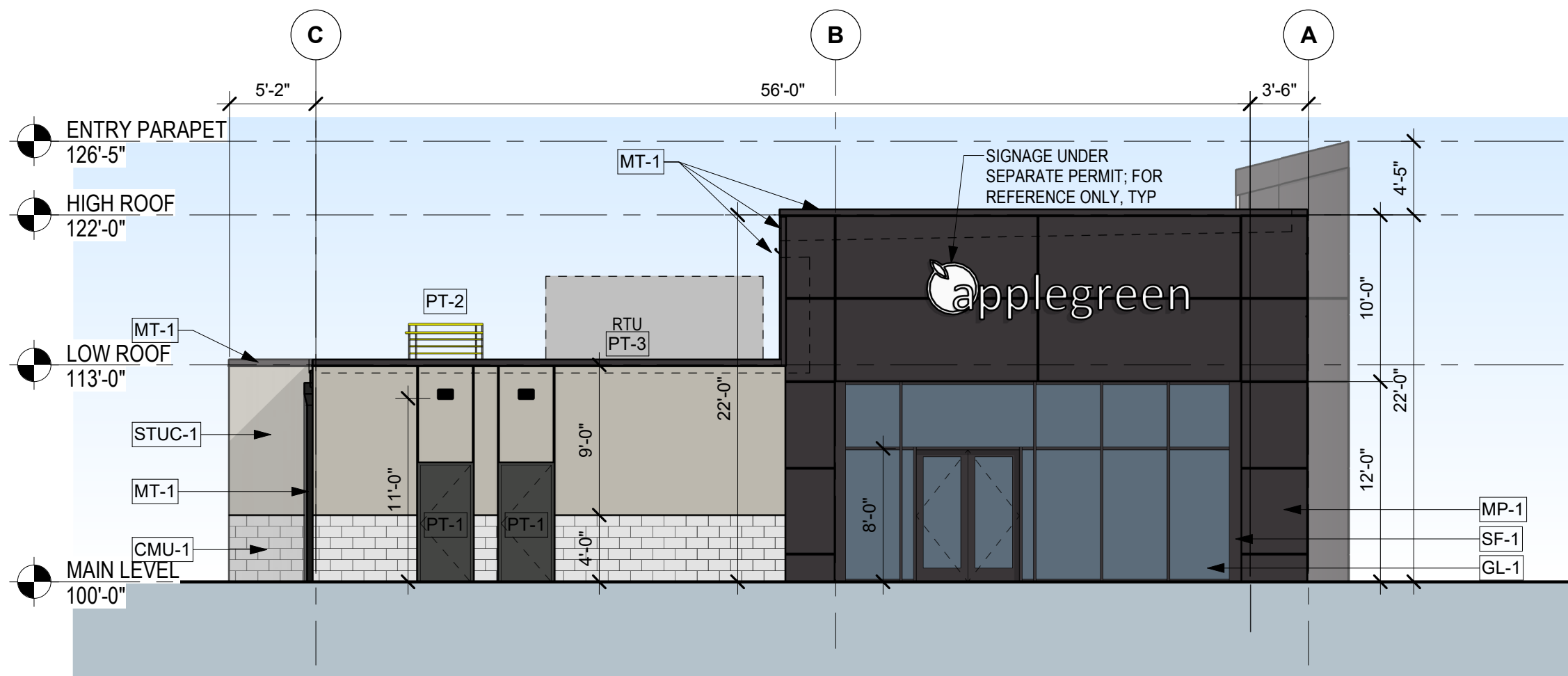
1 WEST ELEVATION



2 EAST ELEVATION



3 SOUTH ELEVATION



4 NORTH ELEVATION

EXTERIOR FINISH AND COLOR SCHEDULE			
MARK	DESCRIPTION/SIZE	MATERIAL	COLOR
CMU-1	CONCRETE MASONRY VENEER	CMU GROUND FACE VENEER	GRAY
STUC-1	EIFS WITH STUCCO FINISH	EIFS SMOOTH	GRAY
MP-1	ALUMINUM COMPOSITE METAL PANEL	ARCHITECTURAL METAL PANEL	BLACK
MP-2	FAUX WOOD METAL PANEL	ARCHITECTURAL METAL PANEL	WOOD LOOK
MP-3	FAUX WOOD METAL - LOUVERS/BLADES	ARCHITECTURAL METAL PANEL	WOOD LOOK
MP-4	FAUX WOOD METAL - SLATS	ARCHITECTURAL METAL PANEL	WOOD LOOK
SF-1	ALUMINUM STOREFRONT SYSTEM	ALUMINUM	ANODIZED BLACK
GL-1	STOREFRONT GLAZING	GLASS	INS.
CW-1	CURTAINWALL SYSTEM	ALUMINUM	ANODIZED BLACK
GL-2	CURTAINWALL GLAZING	GLASS	INS.
GL-3	CLERESTORY GLAZING	GLASS	INS. 25 VT
RF-1	TPO	MEMBRANE	WHITE
MT-1	METAL FASCIA; GUTTERS; TRIM; CAP FLASHING; MISC	PRE-FINISHED METAL	BLACK
PT-1	EXTERIOR PAINT - DOORS, RAILINGS, EXP. STRUCTURE	PAINTED METAL	BLACK
PT-2	SAFETY RAILINGS, CONCRETE FILLED BOLLARDS	PAINTED METAL	SAFETY YELLOW
PT-3	ROOF TOP EQUIPMENT	PAINTED METAL	GRAY

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**BUILDING ELEVATIONS**  
**SHEET:11 OF 16**



# Applegreen - Project Bronco

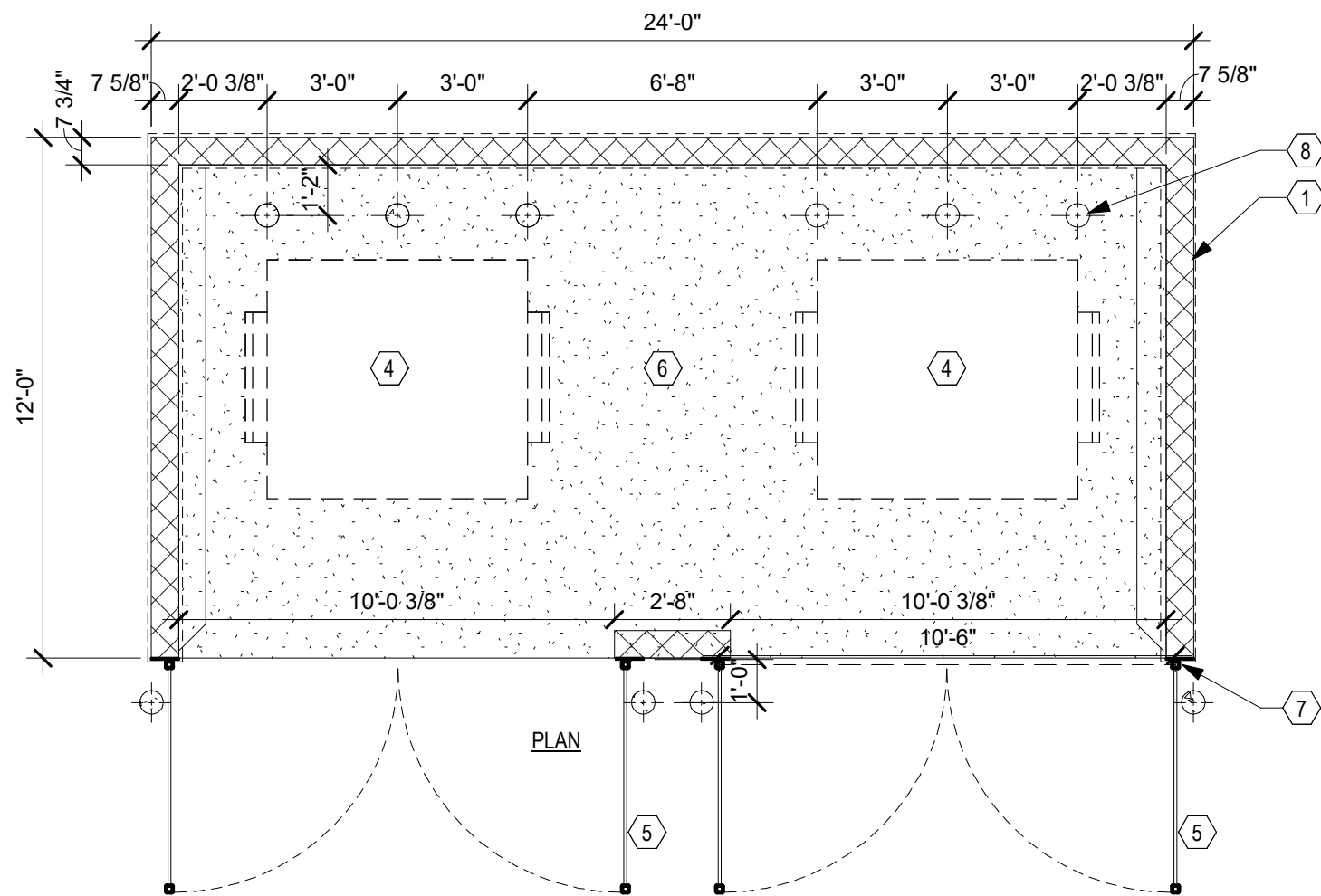
9000 E-470 Commerce City Northbound

## DEVELOPMENT PERMIT PLAN

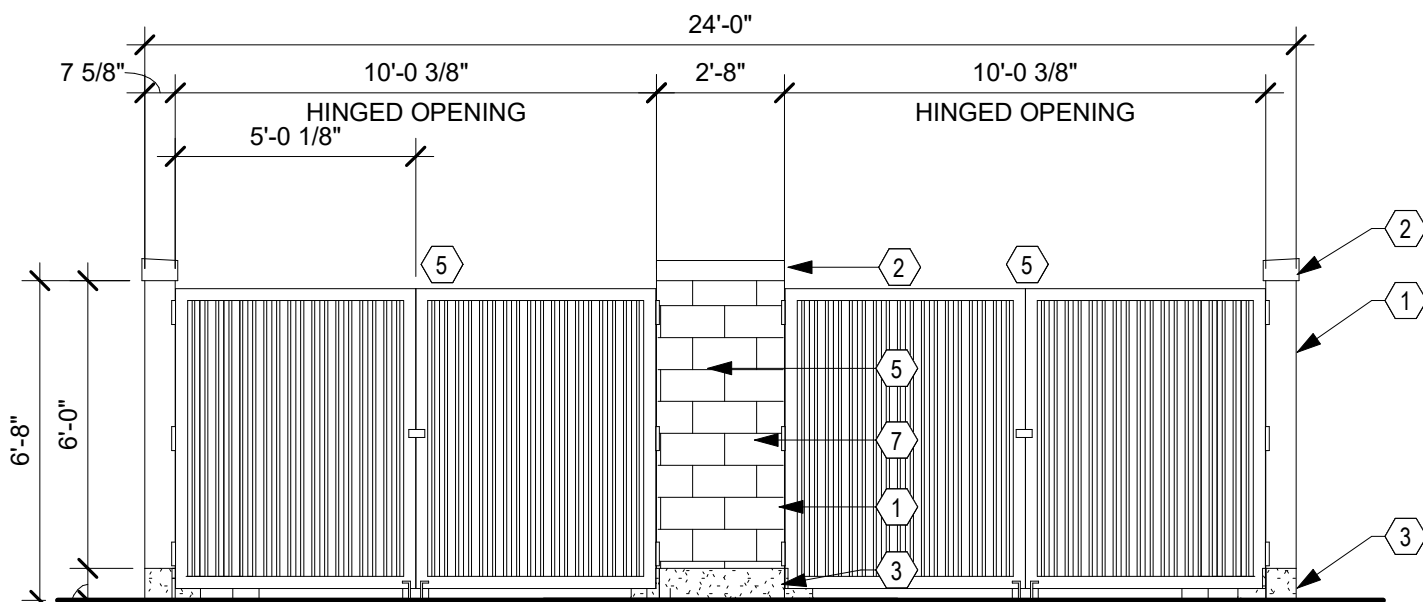
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### EXTERIOR FINISH AND COLOR SCHEDULE

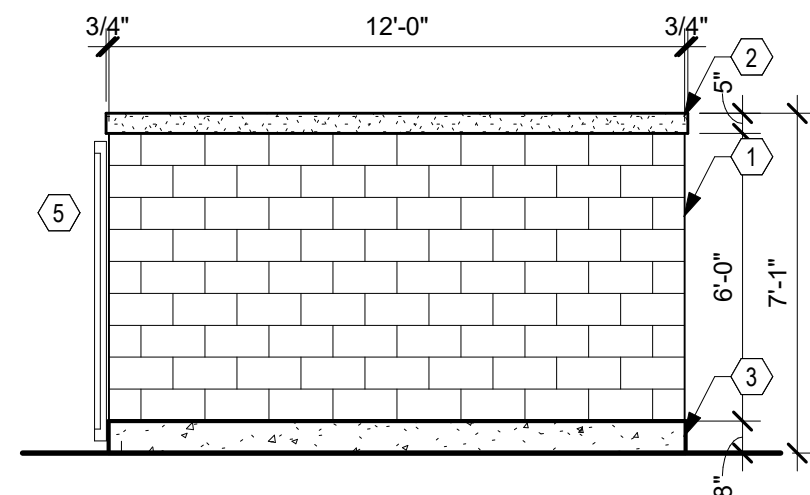
MARK	DESCRIPTION/SIZE	MATERIAL	COLOR
CMU-1	CONCRETE MASONRY VENEER	CMU GROUND FACE VENEER	GRAY
MP-2	FAUX WOOD METAL PANEL	ARCHITECTURAL METAL PANEL	WOOD LOOK
PT-1	EXTERIOR PAINT - DOORS, RAILINGS, EXP. STRUCTURE	PAINTED METAL	BLACK
PT-2	SAFETY RAILINGS, CONCRETE FILLED BOLLARDS	PAINTED METAL	SAFETY YELLOW



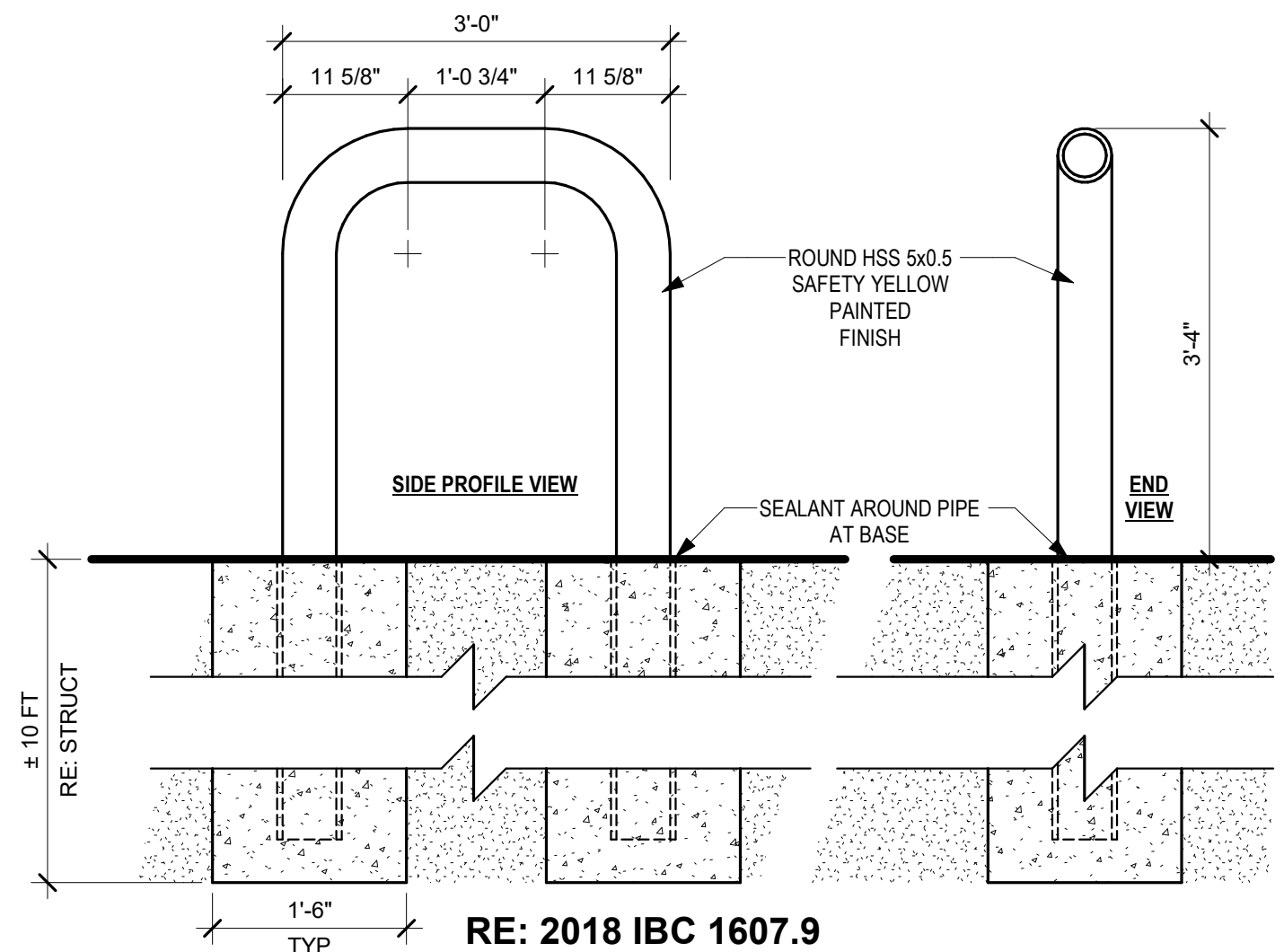
1 TRASH ENCLOSURE PLAN  
1/4" = 1'-0"



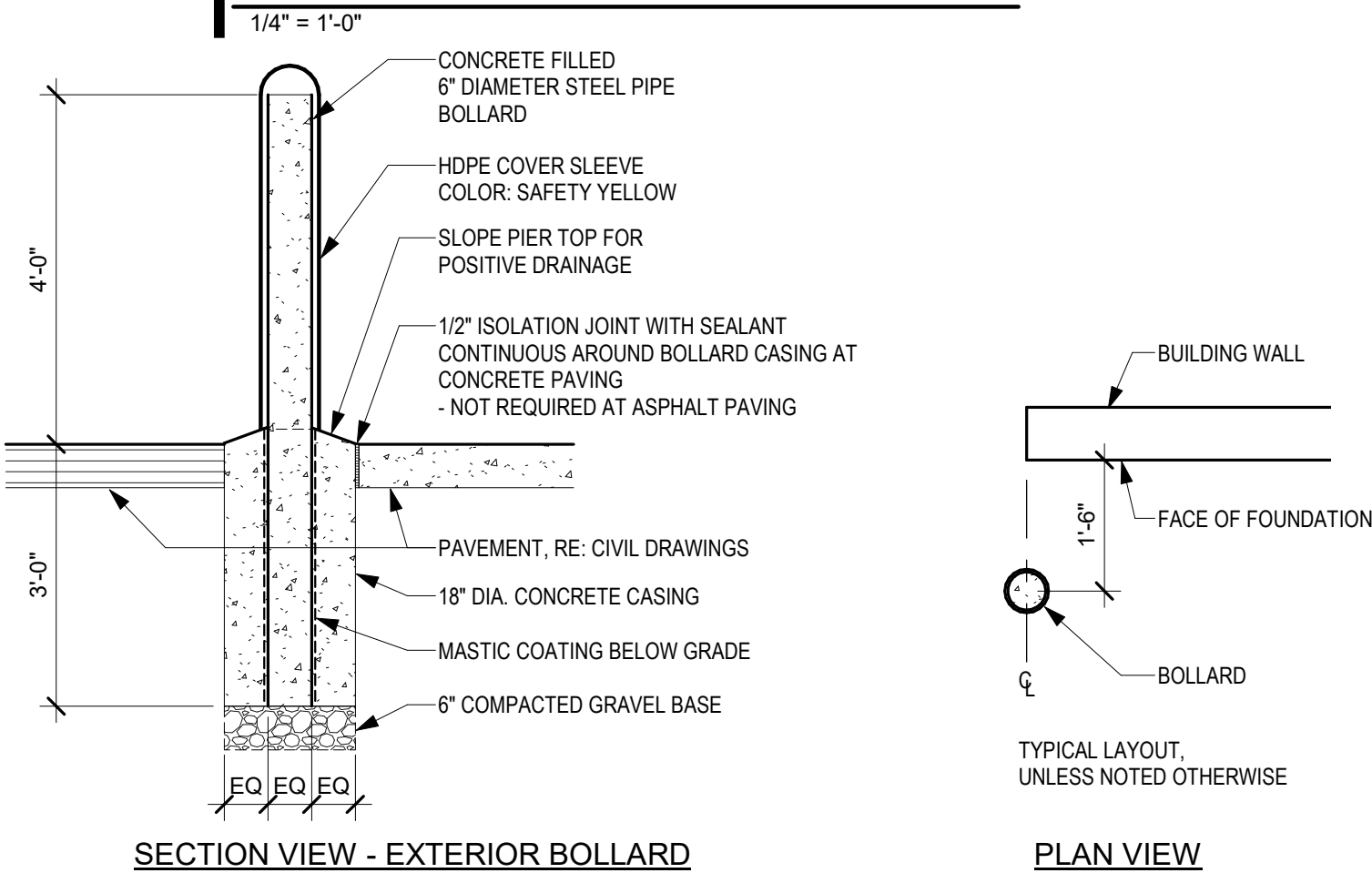
2 TRASH ENCLOSURE ELEV.  
1/4" = 1'-0"



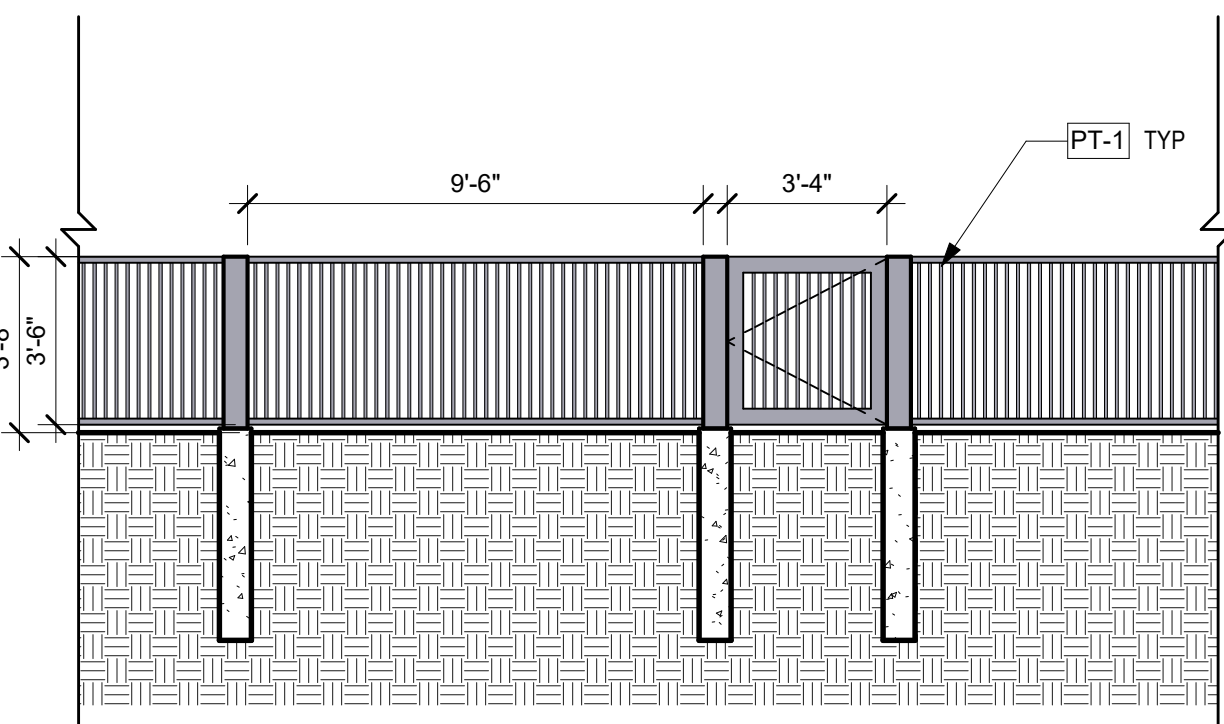
3 TRASH ENCLOSURE ELEV.  
1/4" = 1'-0"



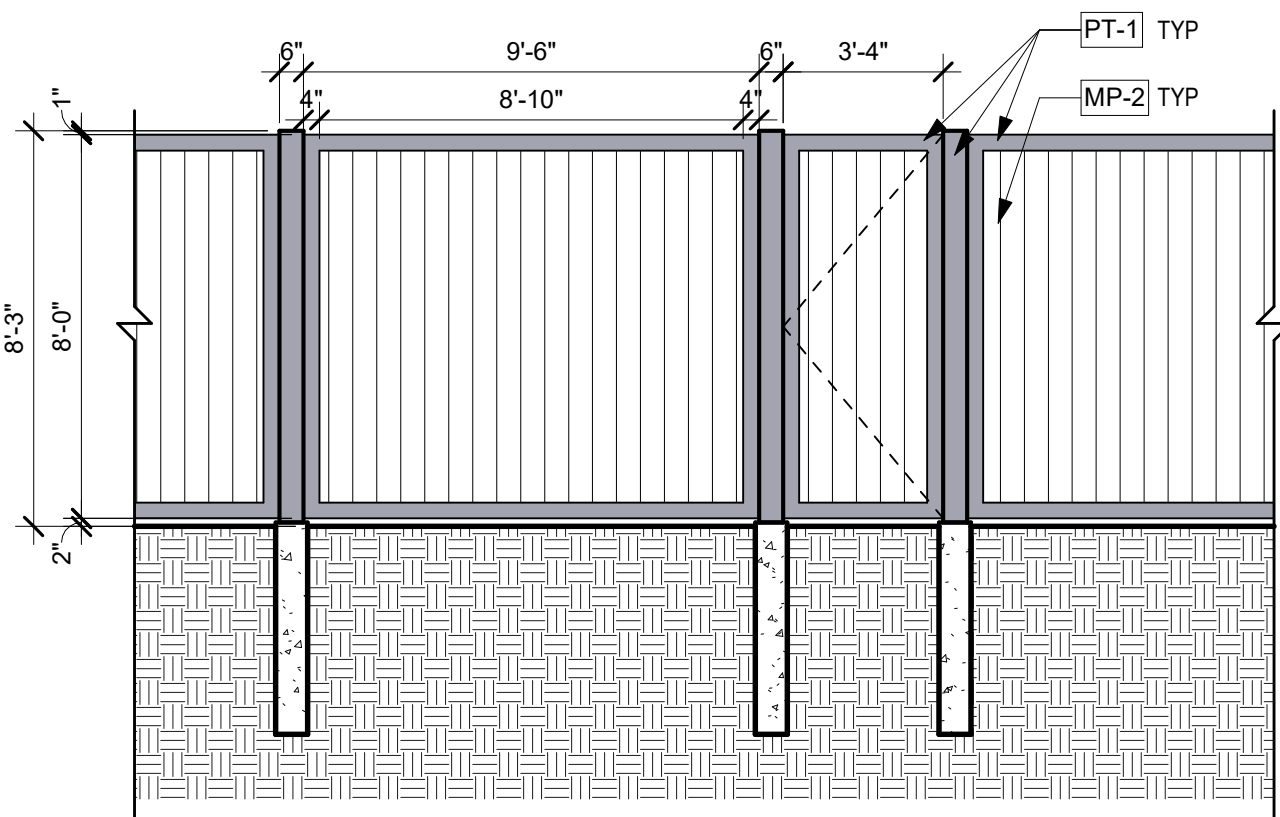
4 U-TYPE BOLLARD DETAIL  
3/4" = 1'-0"



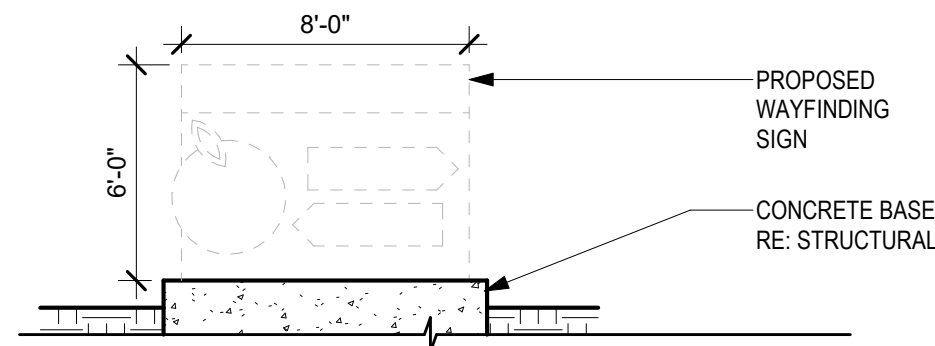
5 EXTERIOR BOLLARD DETAIL  
1/2" = 1'-0"



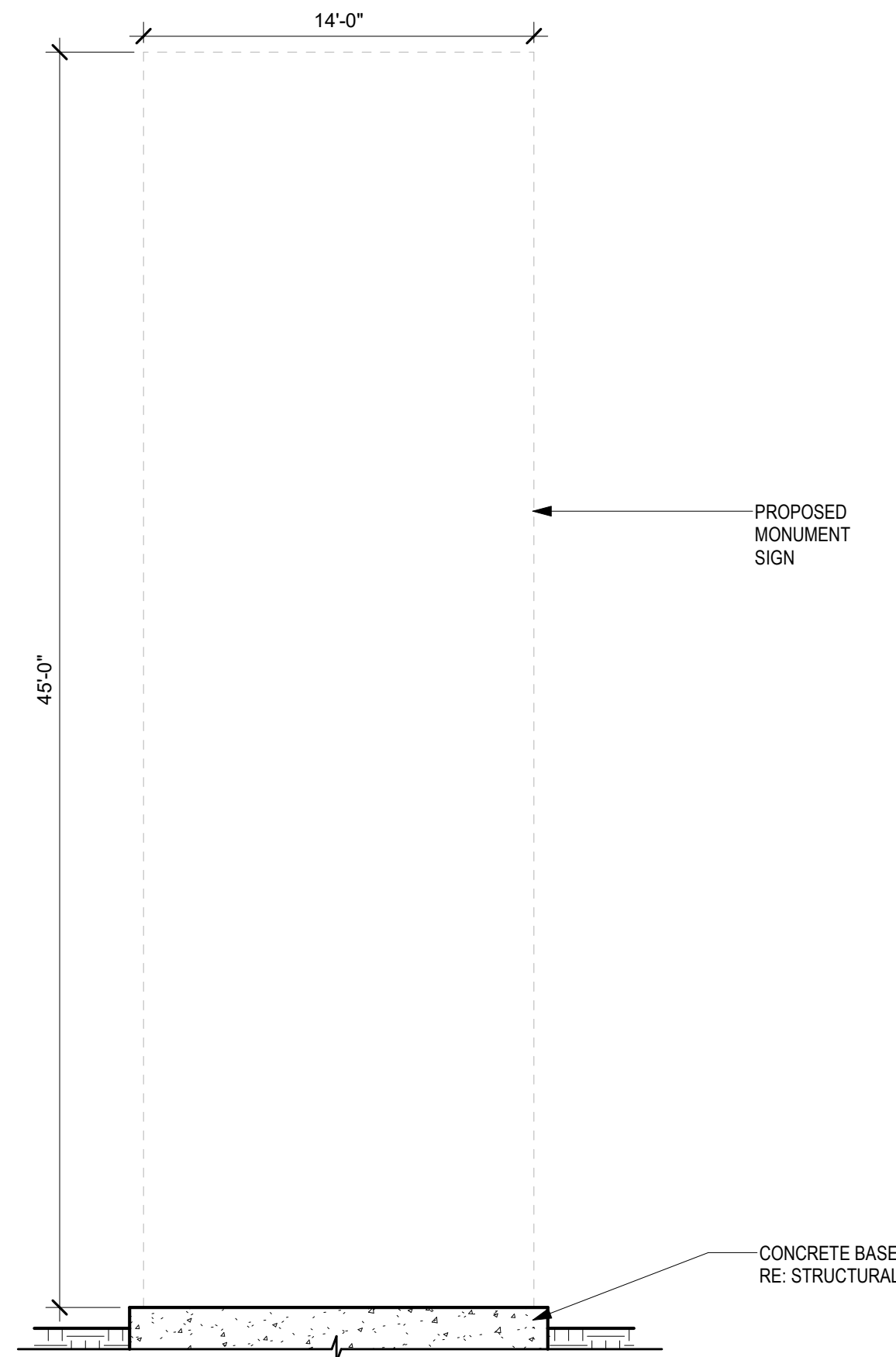
6 KIDS PLAY AND DOG PARK FENCE  
1/4" = 1'-0"



7 TYPICAL FENCE  
1/4" = 1'-0"



9 WAYFINDING SIGN  
3/16" = 1'-0"



8 MONUMENT SIGN  
3/16" = 1'-0"

### SITE DETAILS KEYNOTES

- 8"x8"x16" GROUND-FACE CMU, COLOR: NATURAL GRAY, RE: STRUCT.
- PRECAST CONCRETE CAP, ACID WASHED PRECAST CONCRETE CAP, RE: SPECIFICATIONS
- PARGED FINISH ABOVE GRADE
- WASTE CONTAINER PROVIDED BY WASTE MANAGEMENT CO
- 16 GA. 1.5" HSB-36 B DECK INFILL PANEL WITH HSS 4x2x3/16 PICTURE FRAMED DOORS WITH HSS 4x2x3/16 (LAID FLAT) X-BRACE - PAINT
- 6" CONCRETE SLAB
- (3) HEAVY DUTY HINGES AT EACH DOOR W/ LATCH & CANE BOLT
- 6" CONCRETE FILLED STEEL BOLLARD; SEE DETAIL

Date	Submission / Revision
12/30/2021	1st DEV. Permit Sub.

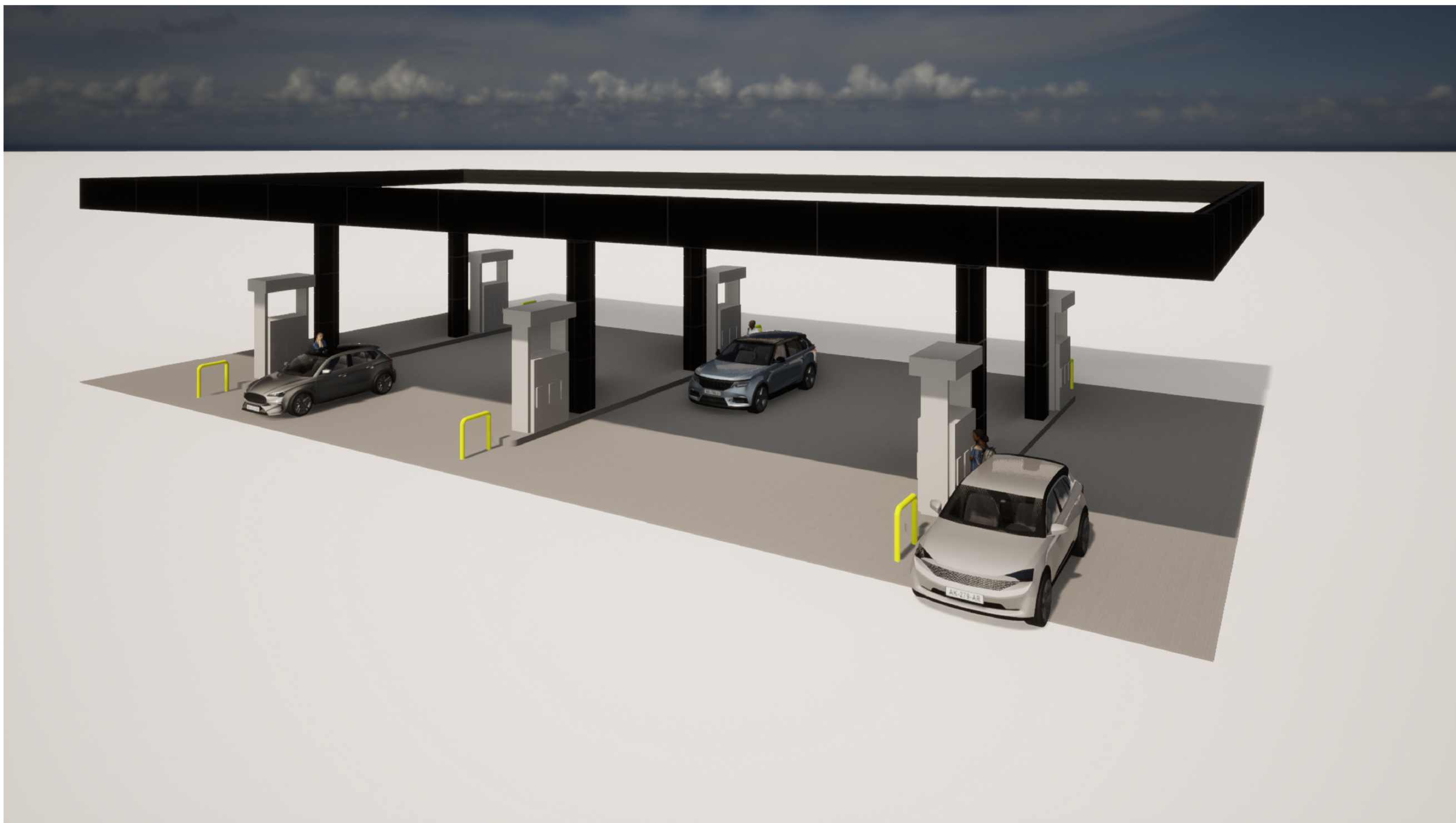
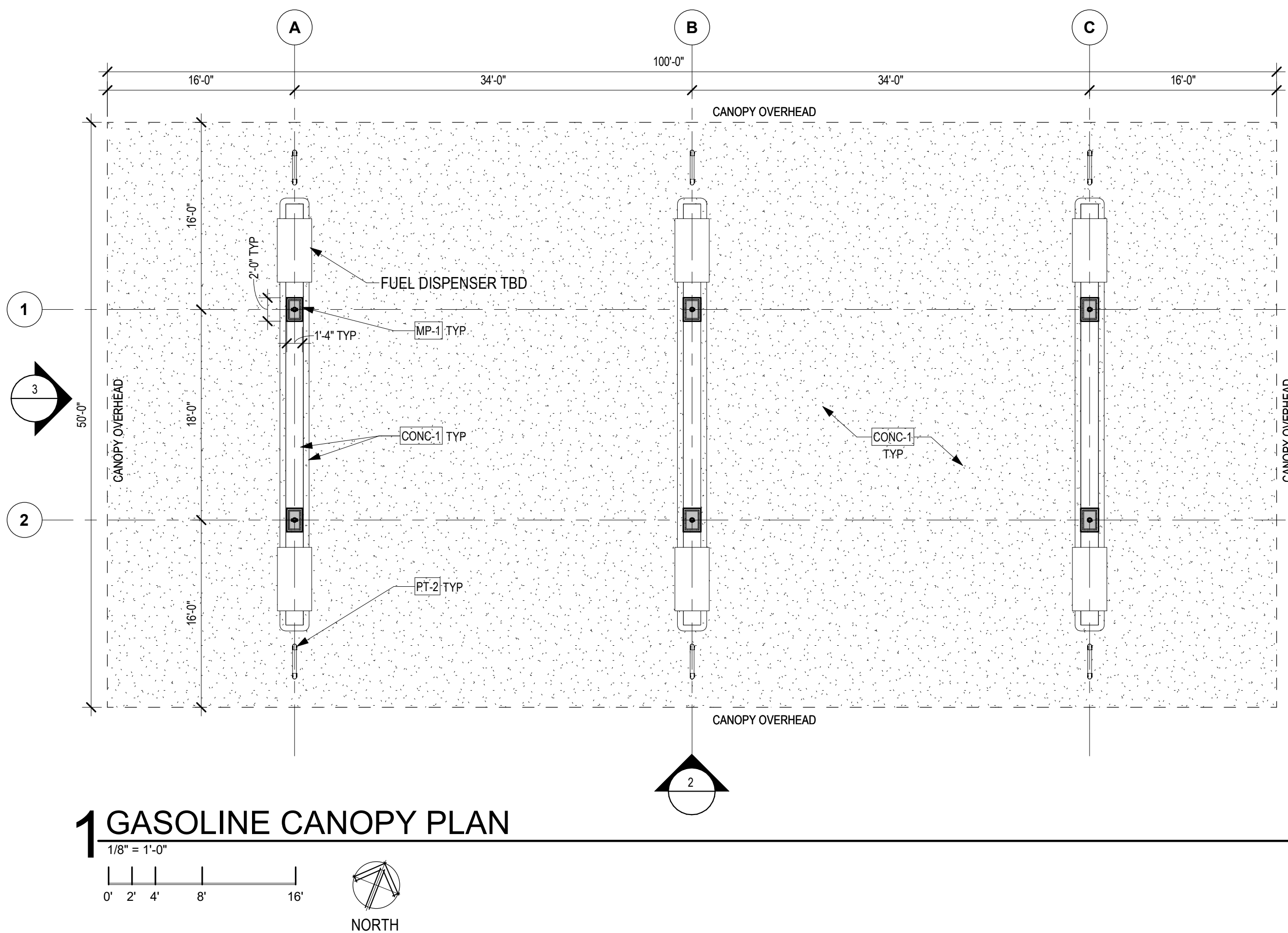
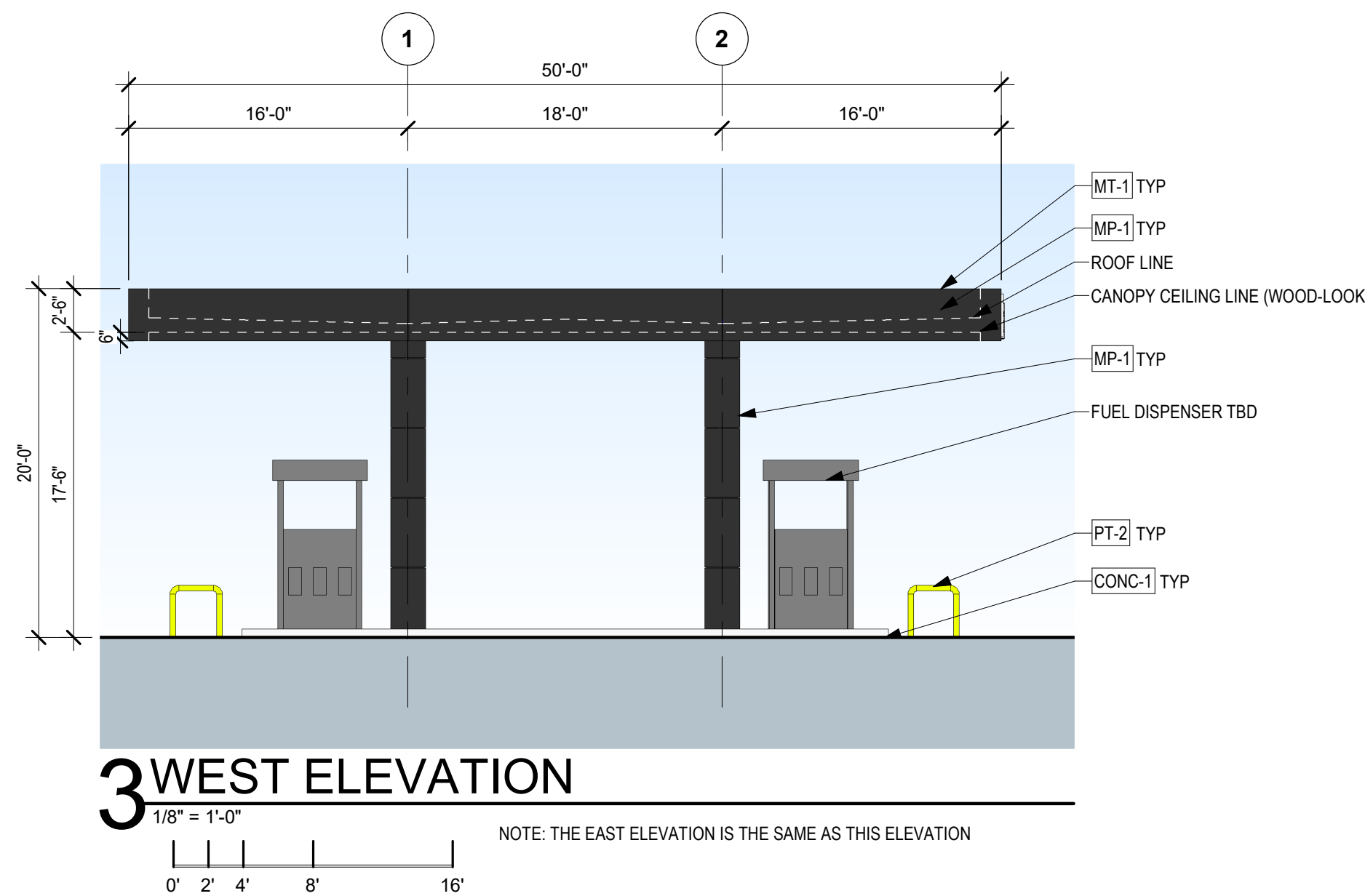
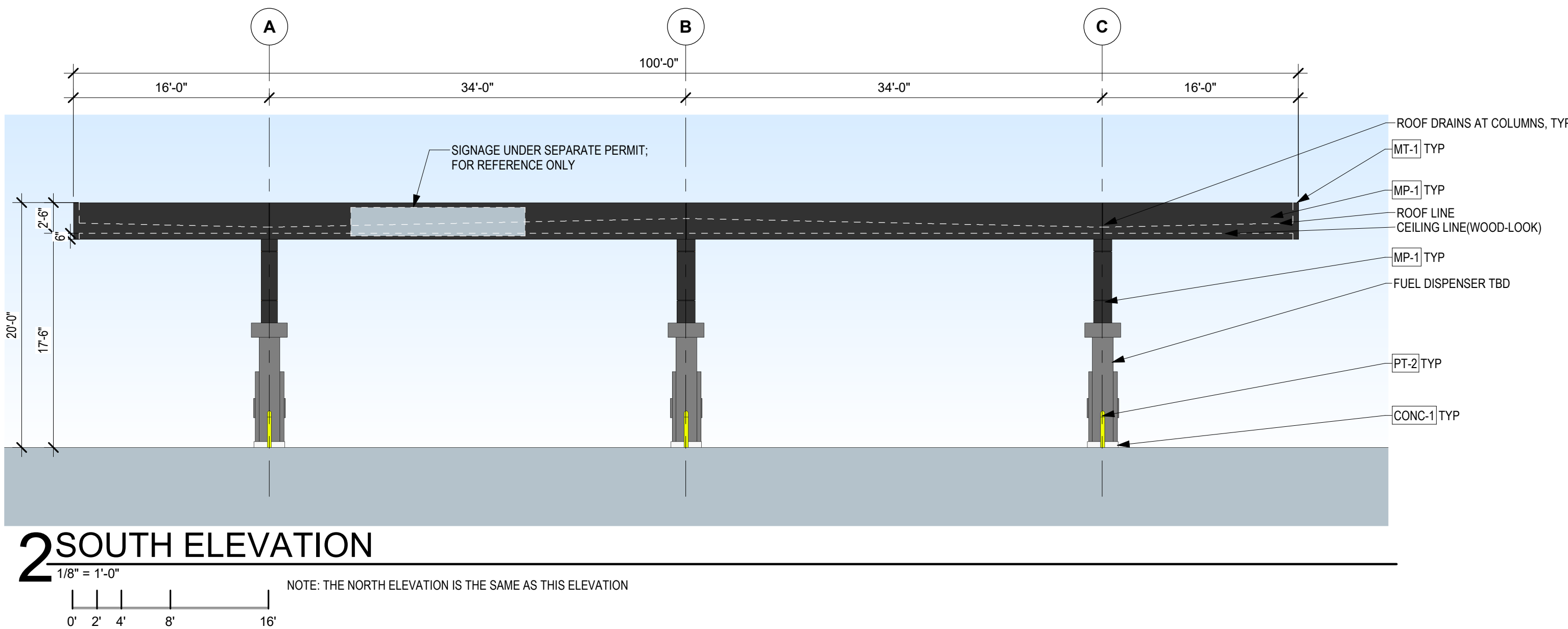


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EXTERIOR FINISH AND COLOR SCHEDULE			
MARK	DESCRIPTION/SIZE	MATERIAL/MODEL NUMBER	COLOR
CONC-1	FUELING SLAB	CONCRETE	NATURAL GRAY
TPO-1	TPO ROOFING	TPO	WHITE
MT-1	METAL FASCIA; GUTTERS; TRIM; CAP FLASHING; MISC	PRE-FINISHED METAL	MATCH SW 6991 'BLACK MAGIC'
PT-2	CONCRETE FILLED BOLLARDS	PAINTED METAL	'SAFETY YELLOW'
MP-1	ALUMINUM COMPOSITE METAL PANEL	ARCH. METAL PANEL	BLACK

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GASOLINE  
REFUELING  
CANOPY  
SHEET:13 OF 16



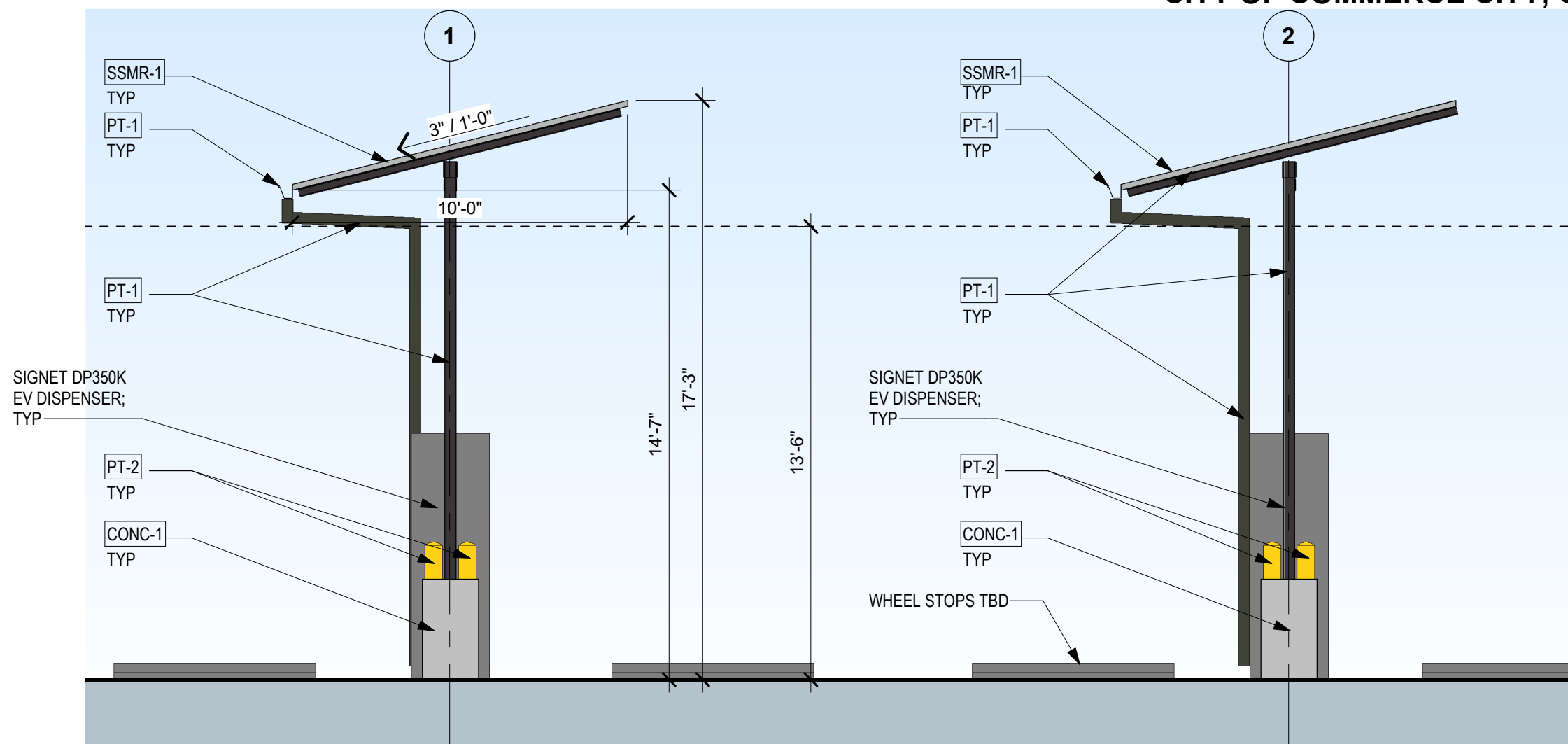
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9000 E-470 Commerce City Northbound

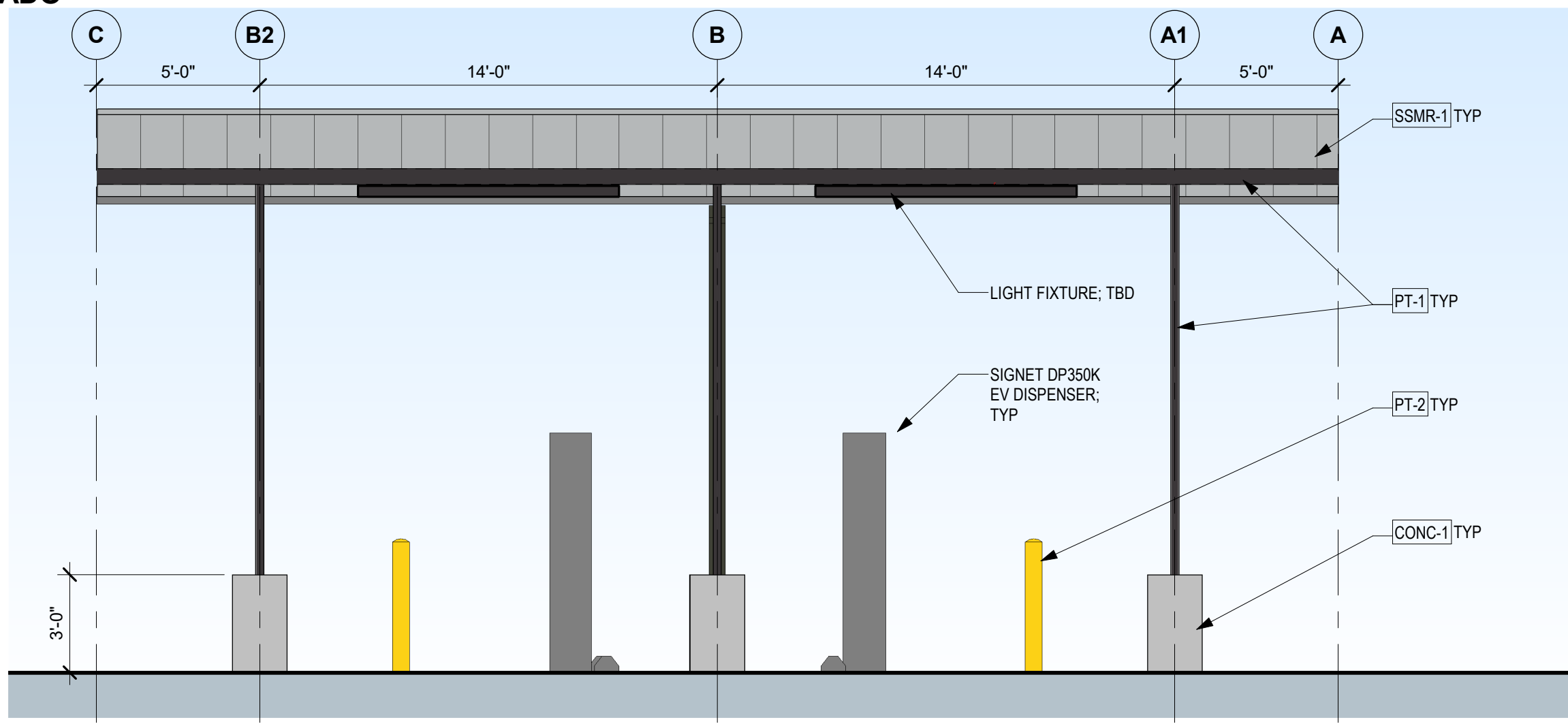
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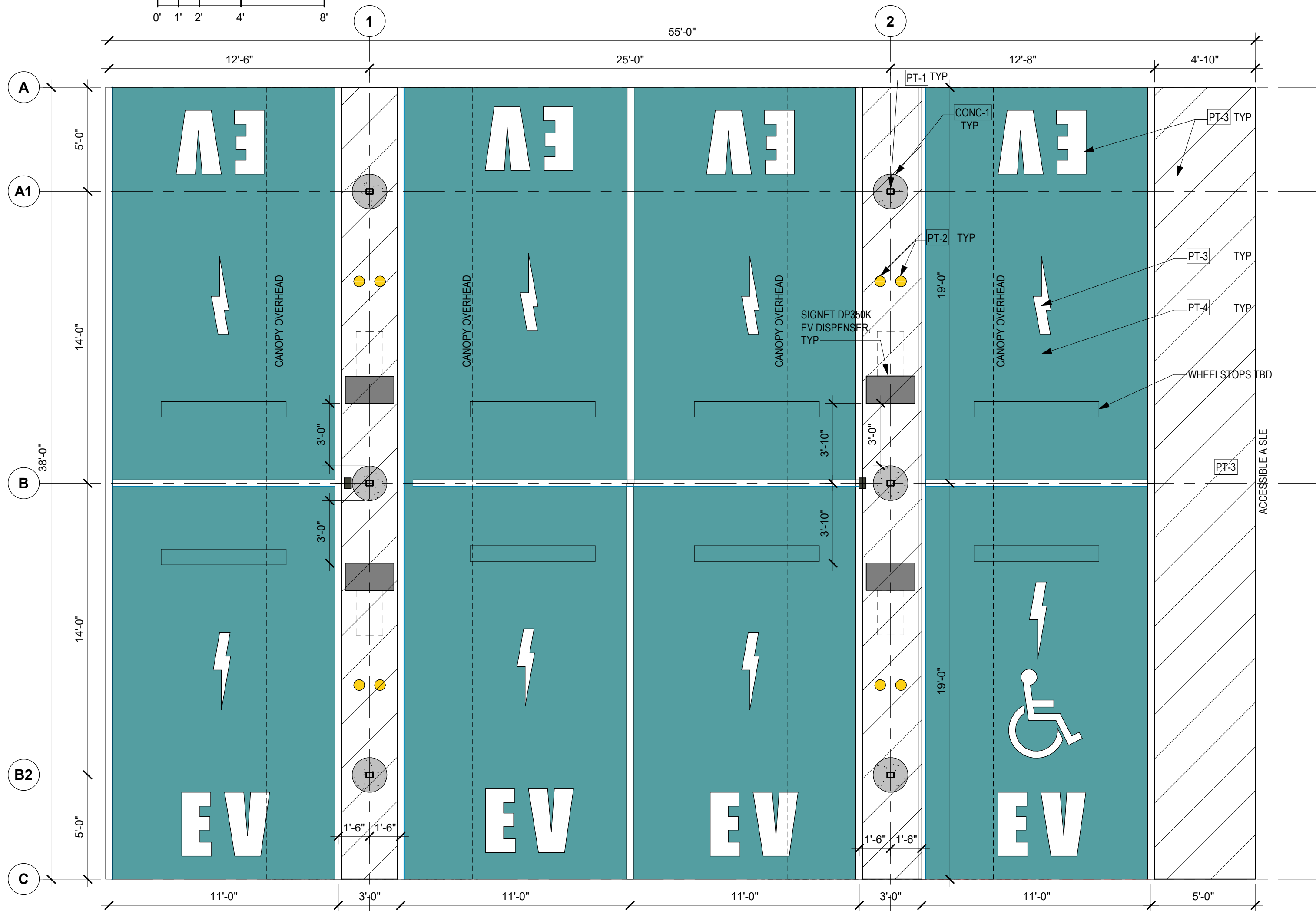
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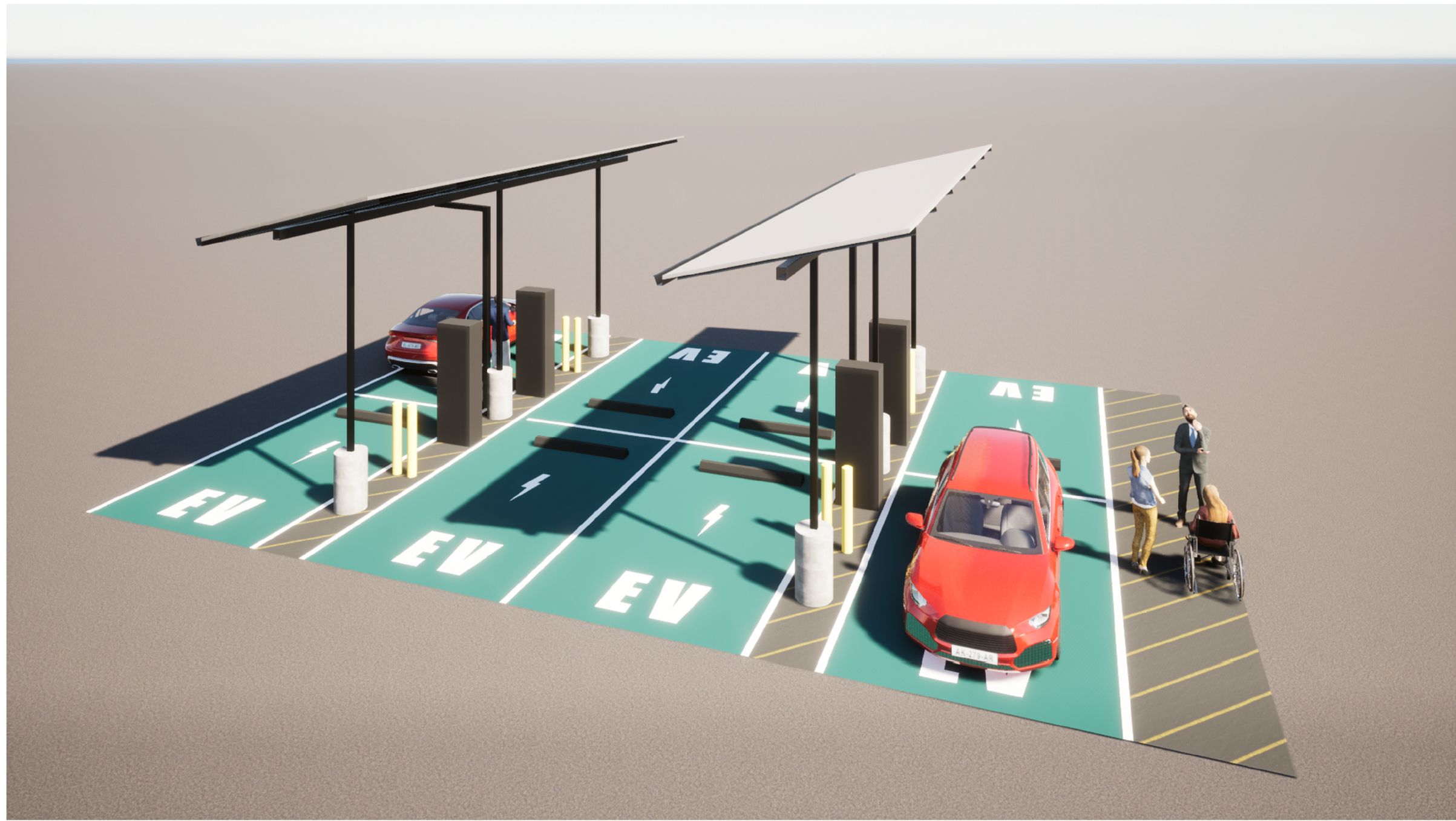
2 EAST OR WEST ELEVATION



3 NORTH OR SOUTH ELEVATION



1 EV CHARGING PLAN



EXTERIOR FINISH AND COLOR SCHEDULE			
MARK	DESCRIPTION/SIZE	MATERIAL	COLOR
CONC-1	CAST-IN-PLACE CONCRETE COLUMN BASES	CONCRETE	NATURAL W/ PARGE COAT FINISH
SSMR-1	STANDING SEAM METAL ROOF	PRE-FINISHED METAL	CHARCOAL GRAY
MT-1	METAL FASCIA; GUTTERS; TRIM; CAP FLASHING; MISC	PRE-FINISHED METAL	BLACK
PT-1	EXP. STRUCTURE	PAINTED METAL	BLACK
PT-2	CONCRETE FILLED BOLLARDS	PAINTED METAL	SAFETY YELLOW
PT-3	PARKING LOT LINES AND SYMBOLS	ACRYLIC-BASED PAINT	HIGH REFLECTIVE WHITE
PT-4	EV PARKING SPOT INFILL COLOR	ACRYLIC-BASED PAINT	SW GREEN BAY

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**EV Canopy**  
**SHEET: 14 OF 16**



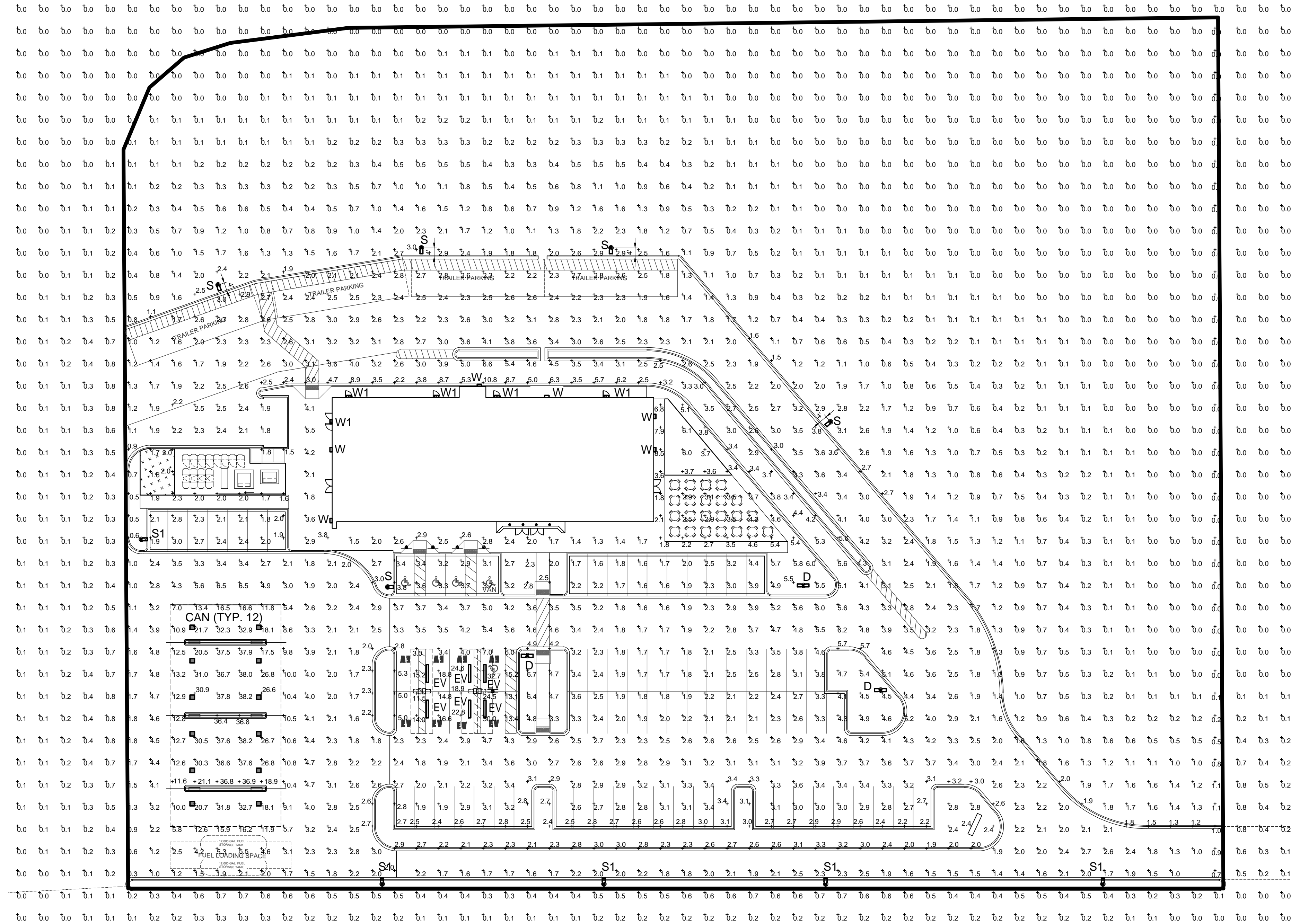
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9000 E-470 Commerce City Northbound  
PIN XXXXXXXXXXXXX

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Date	Submission / Revision
12/17/2021	1st DEV. Permit Sub.



1 PHOTOMETRIC SITE PLAN  
SCALE: 1"=20'-0"

### LUMINAIRE SCHEDULE

MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION
S		5	30'-0"	27'-0"	19664	149	SLM-18L-SL-FIT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW OR APPROVED EQUAL
S1		5	30'-0"	27'-0"	12568	149	SLM-18L-SL-FIT-UNV-50-70-BRZ-IL	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW WITH INTERNAL LOUVERS
D		3	30'-0"	27'-0"	19664	149	SLM-18L-SL-FIT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, DOUBLE HEAD FLAT LENS FIXTURE, FORWARD THROW OR APPROVED EQUAL
CAN		12	15'-0"	N/A	13980	93	CRUS-SC-LED-SS-50-UE-WHT	LSI LIGHTING, LEGACY SERIES, SUPER SAVER DRIVER, FLAT LENS CANOPY FIXTURE
EV		6	14'-2"	N/A	4000	52	RN-D-4-4-10-5K8-SM-CL-UNV-BLT-PSW12	HUBBELL LIGHTING, RND LINEAR MOUNT LED DOWNLIGHT, 4' LENGTH, 5000K, 10 LUMENS/FT CLEAR LENS, BLACK COLOR, 12" PENDANT MOUNTING, OR APPROVED EQUAL
W		6	11'-0"	N/A			XWS LED 02L FTV 50 UE BRZ	LSI LIGHTING, MIRADA SMALL (XWS) WALL MOUNT LUMINAIRE, 5000K CCT, 2000 LUMEN PACKAGE, BRONZE COLOR, W-BB WITH BATTERY BACK-UP OR APPROVED EQUAL
W1		5	8'-0"	N/A	2167	15	XWS LED 02L FTV 50 UE BRZ BB	

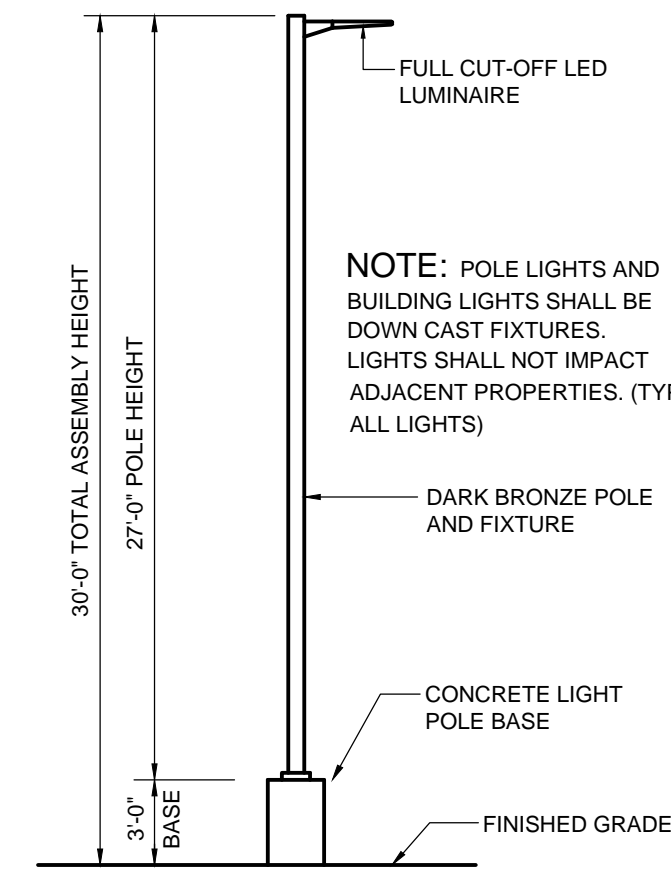
ALL PROPOSED FIXTURES ARE FULL CUT-OFF FIXTURES

### CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	MIN	MAX/MIN
DRIVE, PARKING, TRASH ENCLOSURE/AREA	FC	2.83	10.8	1.0	10.80 to 1
GASOLINE CANOPY	FC	21.52	38.2	5.4	7.07 to 1
EV CANOPY	FC	19.07	32.7	11.5	2.84 to 1

### NOTES:

- PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
- THE STUDY IS BASED ON REQUESTED ILLUMINATION LEVELS, LUMINAIRE LOCATIONS, OR ADDITIONAL CRITERIA BY THE AUTHORITIES HAVING JURISDICTION.
- THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.
- THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.
- ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.
- THE 30'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.
- THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.



2 AREA LIGHT DETAIL  
SCALE: NOT TO SCALE



