

Applegreen - Project Bronco

9000 E-470 Commerce City Southbound

DEVELOPMENT PERMIT PLAN

A PORTION OF THAT PARCEL OF LAND AS SHOWN ON THE RIGHT-OF-WAY PLANS OF E-470 SEGMENT 2, PREPARED FOR THE E-470 PUBLIC HIGHWAY AUTHORITY OF THE STATE OF COLORADO, FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER AT RECEPTION NO. 2007-067 (BK. 1 PG. 3276). SAID PARCEL OF LAND IS LOCATED IN THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 66 WEST, OF THE 6TH PM CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

PROJECT TEAM

LAND OWNER

E-470 Public Highway Authority
22470 E. Stephen D. Hogan Parkway, Suite 100
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ARCHITECTURE

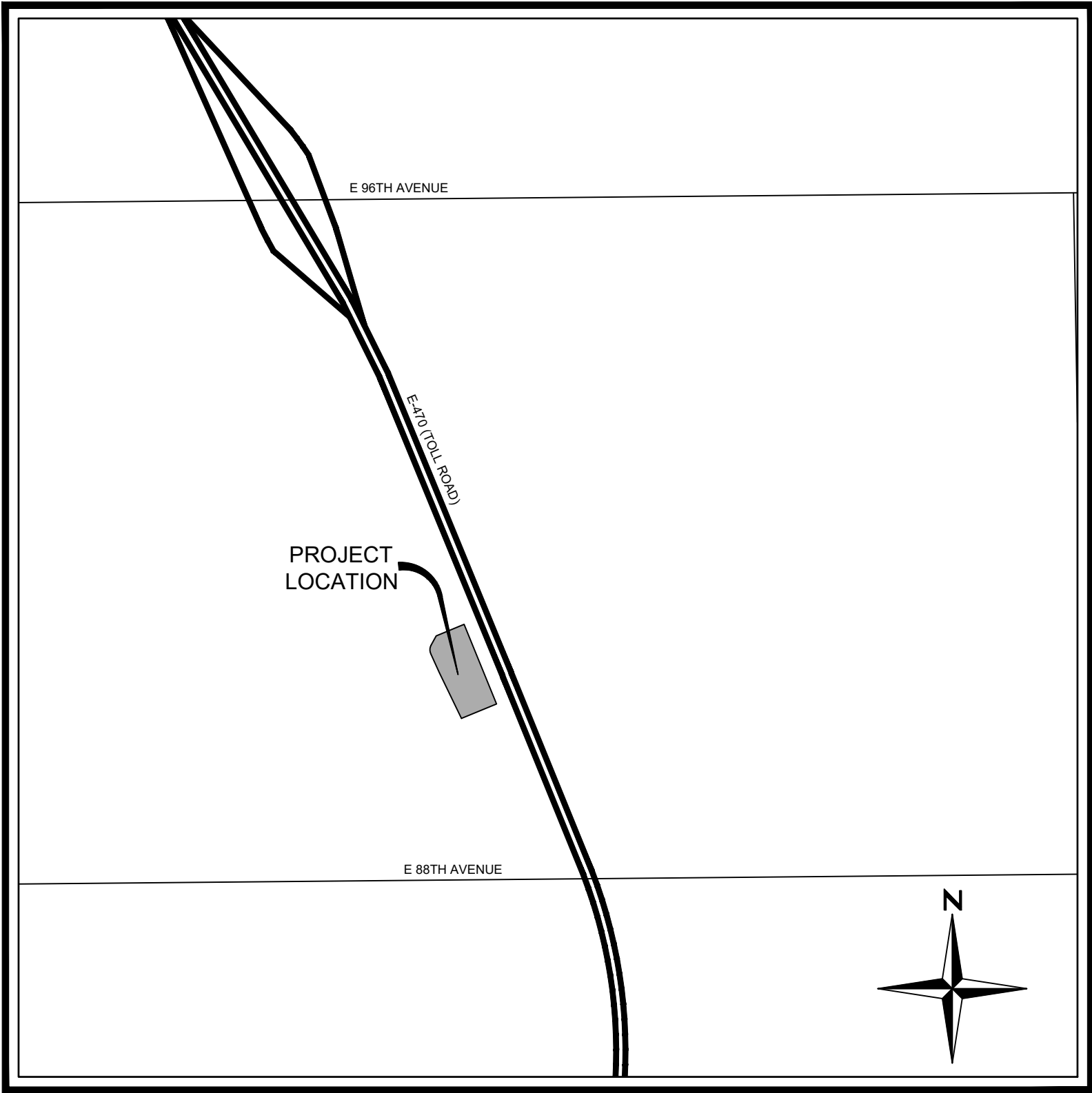
dcb Construction Company, Inc.
909 E. 62nd Ave.
Denver, Colorado 80216
303.287.5525
CONTACT: Brian Hornung
Email: bhornung@dcb1.com

SURVEYOR

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303.658.0358
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CIVIL ENGINEER

Redland
1500 W. Canal Ct.
Littleton, CO 80120
720.283.6783 voice
CONTACT: Mark Cevaal, P.E.
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VICINITY MAP
SCALE: 1" = 2000'

Sheet List Table

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LIGHTING NOTE:

IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND OF PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES

TRASH ENCLOSURE NOTE:

TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 6-FEET AND OF THE SAME OR COMPLIMENTARY MATERIAL AND COLOR AS THE MAIN BUILDING

SCREENING NOTE:

ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING

SIGNAGE NOTE:

APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. **THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS OR APPROVAL OF THIS DEVELOPMENT PLAN.** ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS

FENCING NOTE:

APPROVAL OF A FENCE PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. ALL FENCES MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE:

NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTE.

AMERICAN WITH DISABILITIES NOTE:

THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE:

THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE:

ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

SITE DATA TABLE

A	B	C
DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED
ZONING	REZONE FROM AG	C3
PARCEL AREA AND LOT WIDTH		4.5 ACRES (194,915 SF)
PERMITTED USES		ALLOWED
BUILDING MAX HEIGHT	50 FEET	26 FEET
MINIMUM BUILDING SETBACKS	10 FEET	> 10'
MINIMUM PARKING SETBACKS		
MAXIMUM BUILDING SETBACKS		N/A
BUILDING AREA		8,200 SF
PARKING	64 REGULAR + 4 TRAILER REQUIRED	79 STANDARD + 7 EV + 4 TRAILER
ADA PARKING	3	4 + 1 EV
BICYCLE PARKING	N/A	N/A
LOADING ZONE	1	1
LANDSCAPE SURFACE RATIO		43.0%
TYPE OF BUILDING CONSTRUCTION AND OCCUPANCY		
NUMBER OF EMPLOYEES		

City Staff Certificate:

Approved by the Department of Community Development of the City of Commerce City, this ____ day of ____, 20____.
Department of Community Development

City Council Certificate:

Approved by the City of Commerce City, the ____ day of ____, 20____.

City Signature

Applegreen - Project Bronco

9000 E-470 Commerce City Southbound

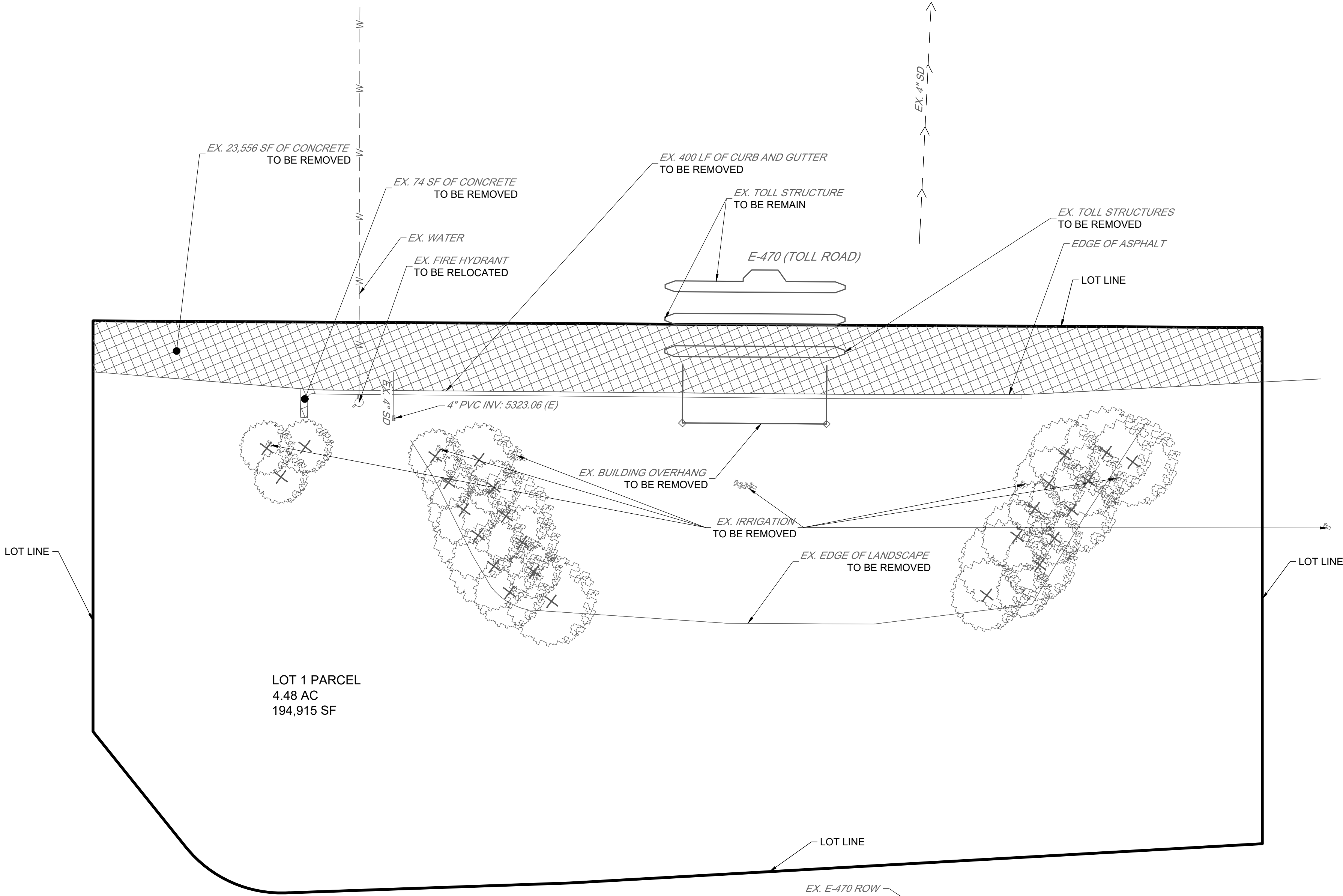
DEVELOPMENT PERMIT PLAN

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EXISTING LEGEND

	PROPERTY LINE
	R.O.W.
	LOT LINE
	EASEMENT LINE
	SECTION LINE
	ROAD CENTERLINE
	EDGE OF PAVEMENT
	CURB AND GUTTER
	CONCRETE
	FENCE
	RETAINING WALL
	WATER LINE
	RAW WATER LINE
	NON-POTABLE WATER LINE
	IRRIGATION LINE
	SANITARY SEWER
	STORM SEWER
	ELECTRIC LINE
	GAS LINE
	TELEPHONE LINE
	FIBER OPTICS LINE
	OVERHEAD ELECTRIC LINE
	CABLE TELEVISION

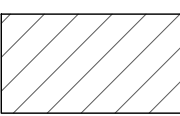
Date	Submission / Revision
12/30/2021	1st DEV. Permit Sub.



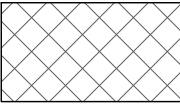
NOTE:

- IMPROVEMENTS FOR THE APPROACH FROM E-470 MAIN LINE AND DEPARTURE BACK TO E-470 MAINLINE ARE BEING PREPARED BY E-470 PUBLIC HIGHWAY AUTHORITY.

LEGEND



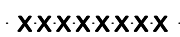
PAVEMENT TO BE REMOVED



CONCRETE TO BE REMOVED



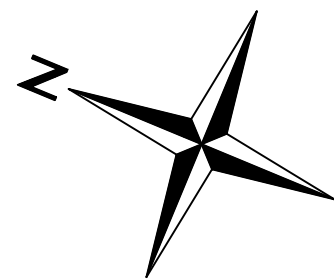
LIMITS OF DISTURBANCE / SAWCUT LINE



DEMOLITION



Know what's below.
Call before you dig.



0 20 40 80
SCALE: 1" = 40'



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DEMOLITION PLAN
SHEET: 02 OF 16

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PAVING LEGEND

	PROPOSED ASPHALT PAVEMENT - DRIVE LANE 4-INCHES ASPHALT OVER 8-INCHES AGGREGATE BASE COURSE ON PREPARED SUBGRADE
	PROPOSED CONCRETE SIDEWALK 4-INCHES CONCRETE
	PROPOSED CONCRETE PAVEMENT 6-INCHES CONCRETE

NOTE: PAVEMENT SECTION IS BASED ON THE GEOTECHNICAL ENGINEERING STUDY FOR PROPOSED APPLGREEN PROJECT SOUTH BOUND COMMERCE CITY SITE, PREPARED BY GROUND ENGINEERING, INC. DATED DECEMBER 8, 2021.

PROJECT STATISTICS	
GROSS ACREAGE OF SITE	4.42 AC
NET ACREAGE OF SITE	
SQUARE FOOTAGE OF EXISTING BUILDING	0 SF
SQUARE FOOTAGE OF PROPOSED BUILDING	8,200 SF
NET SQUARE FOOTAGE OF ALL LANDSCAPE AREAS (INCLUDING WITHIN THE RIGHT OF WAY)	
LOT COVERAGE AND FAR OF ALL BUILDINGS AND STRUCTURES AS A PERCENTAGE OF THE TOTAL NET AREA OF THE SITE	
NUMBER OF PARKING SPACES REQUIRED	64
NUMBER OF PARKING SPACES PROVIDED	79
TYPE OF BUILDING CONSTRUCTION AND OCCUPANCY	
THE CURRENT AND THE REQUESTED ZONING DESIGNATION	
ESTIMATED NUMBER OF EMPLOYEES	
NUMBER OF FIXED SEATS	

PROPOSED LEGEND

	PROPERTY LINE
	R.O.W.
	LOT LINE
	SETBACK
	EASEMENT
	ROAD CENTERLINE
	CURB AND GUTTER
	SIDEWALK
	LIMITS OF CONSTRUCTION / SAWCUT
	SANITARY SEWER
	WATER LINE

NOTE:

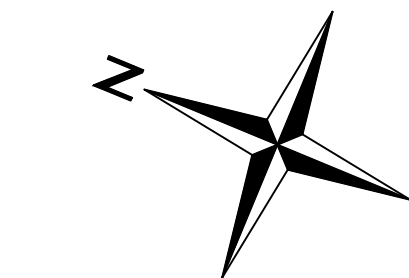
- IMPROVEMENTS FOR THE APPROACH FROM E-470 MAIN LINE AND DEPARTURE BACK TO E-470 MAINLINE ARE BEING PREPARED BY E-470 PUBLIC HIGHWAY AUTHORITY.

PARKING SUMMARY

REQUIRED SPACES	REQUIRED ACCESSIBLE SPACES	REQUIRE VAN ACCESSIBLE	TOTAL SPACES	STANDARD SPACES	ACCESSIBLE SPACES	VAN ACCESSIBLE SPACES
64	4	1	79	75	3	1
REQUIRED BUS SPACES			TOTAL BUS SPACES			
4			4			
REQUIRED EV SPACES			TOTAL EV SPACES	STANDARD EV SPACES	ACCESSIBLE EV SPACES	
0			8	7	1	



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1500 West Canal Court,
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0 20 40 80
SCALE: 1" = 40'

SITE PLAN
SHEET: 03 OF 16

Applegreen - Project Bronco

9000 E-470 Commerce City Southbound

DEVELOPMENT PERMIT PLAN

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	R.O.W.
	LOT LINE
	EASEMENT LINE
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	OVERHEAD ELECTRIC LINE
	CABLE TELEVISION

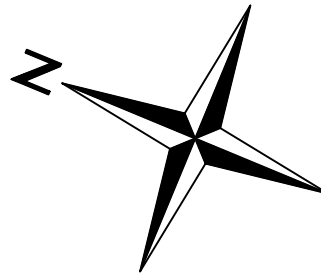
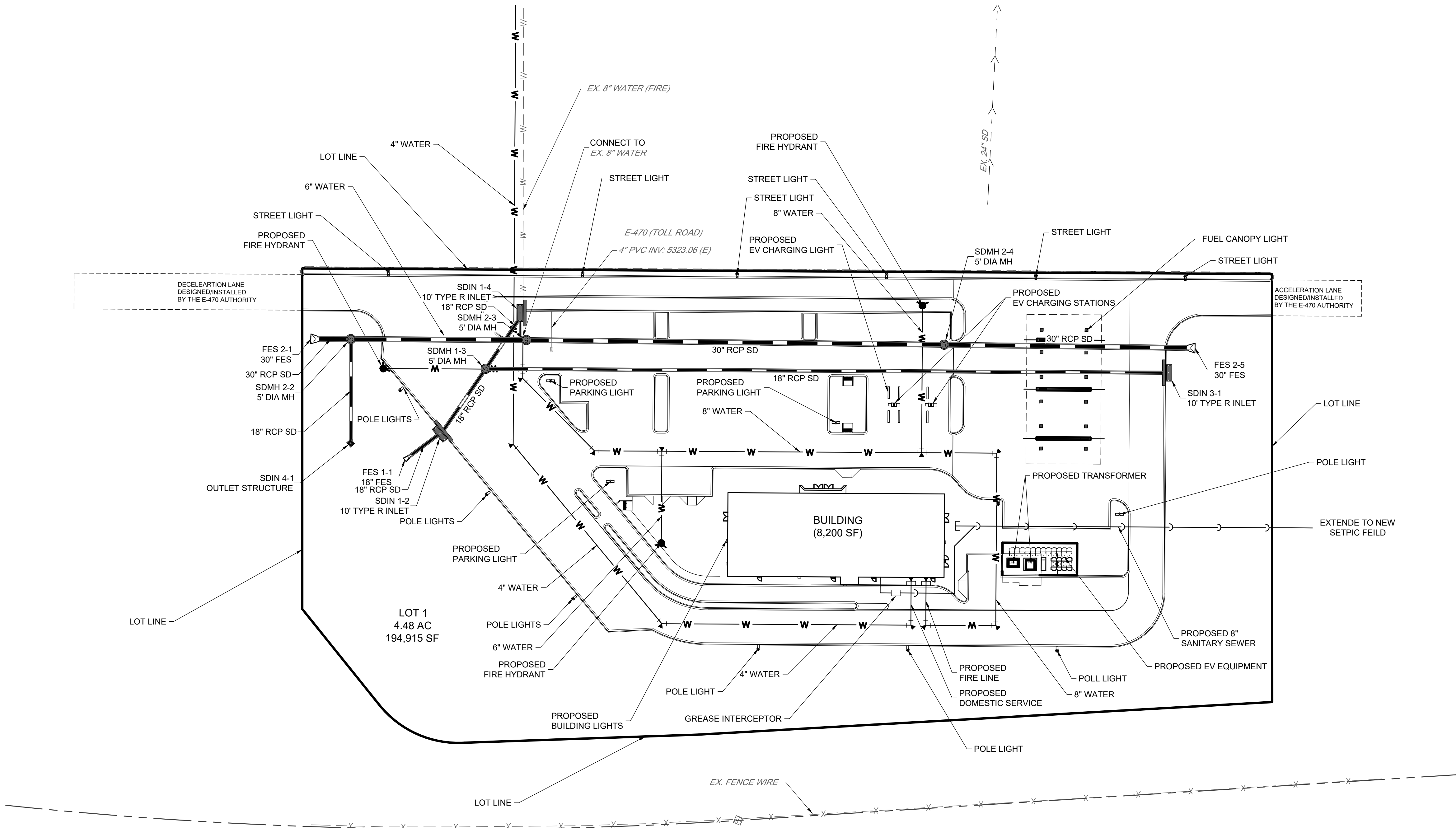
PROPOSED LEGEND

	PROPERTY LINE
	R.O.W.
	LOT LINE
	SETBACK
	EASEMENT
	ROAD CENTERLINE
	CURB AND GUTTER
	SIDEWALK
	LIMITS OF CONSTRUCTION / SAWCUT
	SANITARY SEWER
	WATER LINE

NOTE:

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Date	Submission / Revision
12/30/2021	1st DEV. Permit Sub.



0 20 40 80
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UTILITY PLAN
SHEET: 04 OF 16



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---	R.O.W.
---	LOT LINE
---	EASEMENT LINE
---	SECTION LINE
---	ROAD CENTERLINE
---	EDGE OF PAVEMENT
---	CURB AND GUTTER
---	CONCRETE
-X-X-	FENCE
5280	CONTOUR MAJOR
5281	CONTOUR MINOR

PROPOSED LEGEND

---	PROPERTY LINE
---	R.O.W.
---	LOT LINE
---	SETBACK
---	EASEMENT
---	ROAD CENTERLINE
---	CURB AND GUTTER
---	SIDEWALK
---	LIMITS OF CONSTRUCTION / SAWCUT
---	SANITARY SEWER
W	WATER LINE

EARTHWORK

CUT: 35,781 CY
FILL: 2,288 CY
NET: 33,493 IMPORT

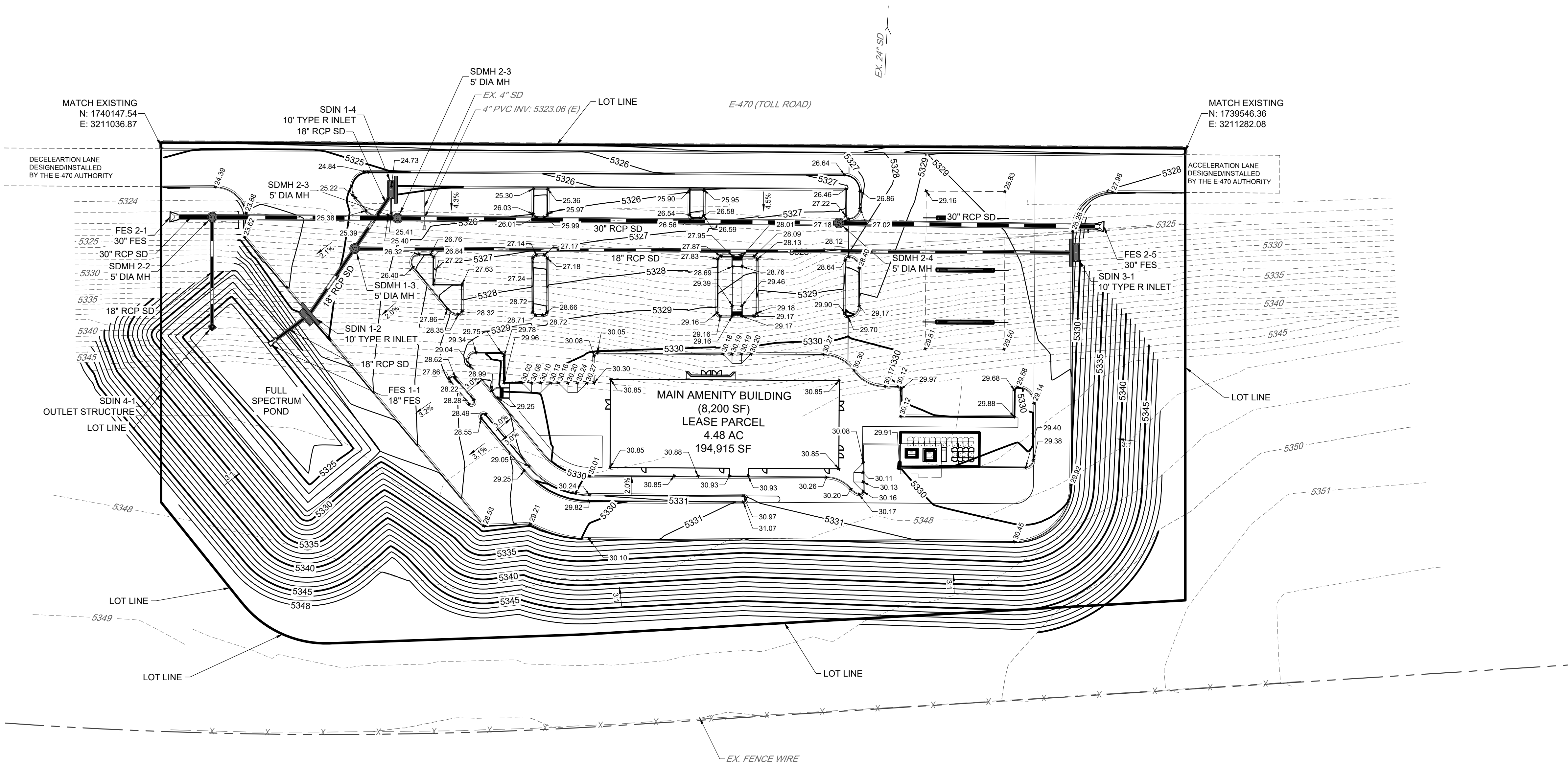
ASSUMPTIONS:

6" EXISTING ASPHALT
6" CONCRETE PAVEMENT
4" EXISTING SIDEWALK
6" BUILDING SLAB
15' EXISTING BASEMENT TO BE FILLED
7" PROPOSED ASPHALT
4" PROPOSED SIDEWALK
8" PROPOSED BUILDING SLAB
DOES NOT INCLUDE TOP SOIL STRIPPING OR PLACEMENT, UTILITY SPOILS, OR OVER-EXCAVATION

NOTE: PAVEMENT SECTION IS BASED ON THE GEOTECHNICAL ENGINEERING STUDY FOR PROPOSED APPLGREEN PROJECT NORTH BOUND COMMERCE CITY SITE, PREPARED BY GROUND ENGINEERING, INC. DATED DECEMBER 8, 2021.

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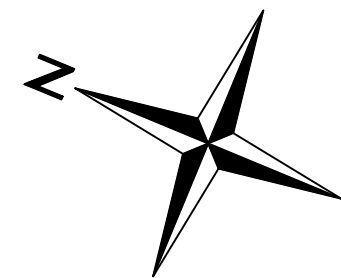
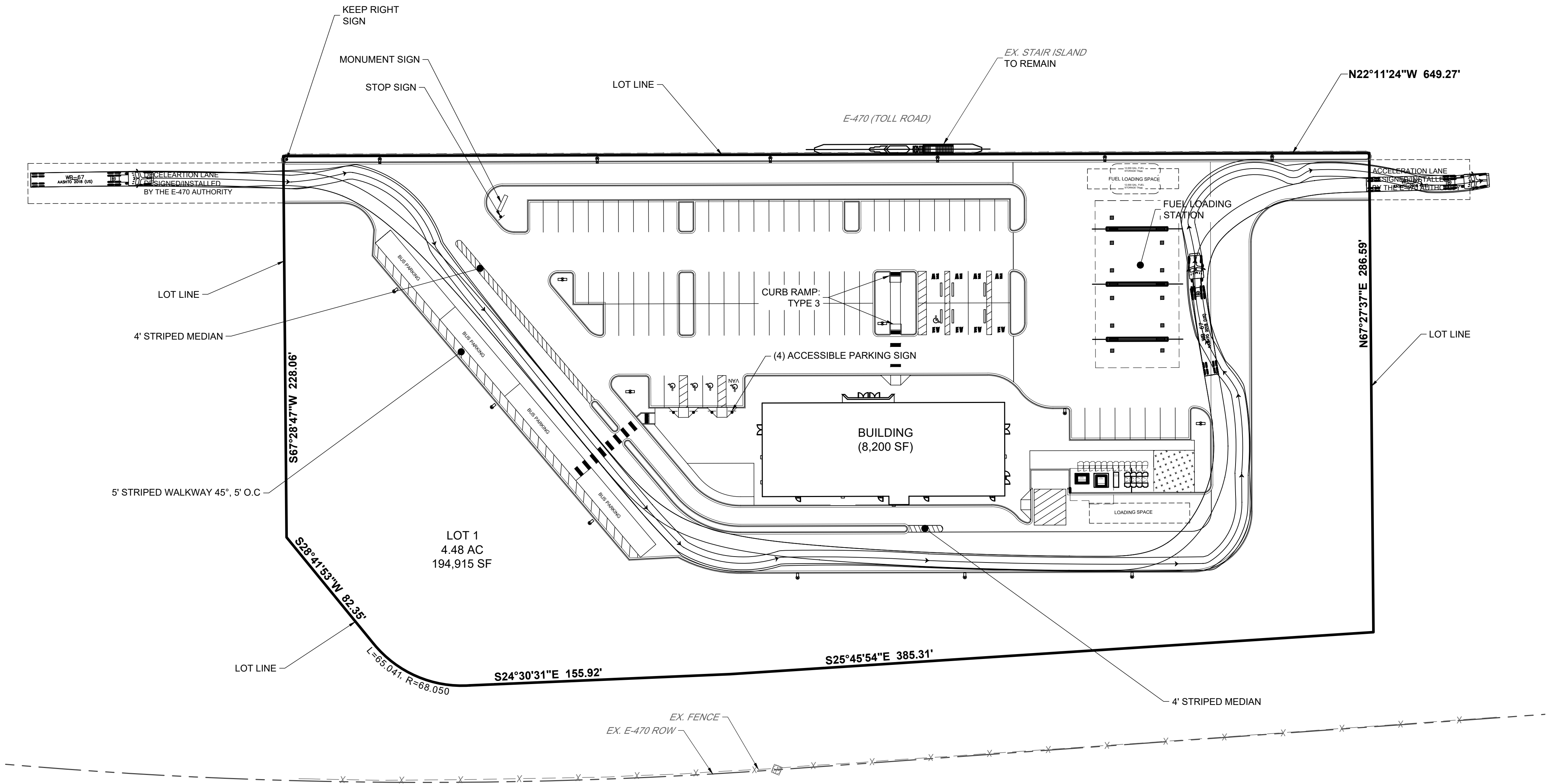
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Date	Submission / Revision
12/30/2021	1st DEV. Permit Sub.



0 20 40 80
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TRUCK CIRCULATION PLAN

SHEET: 06 OF 16



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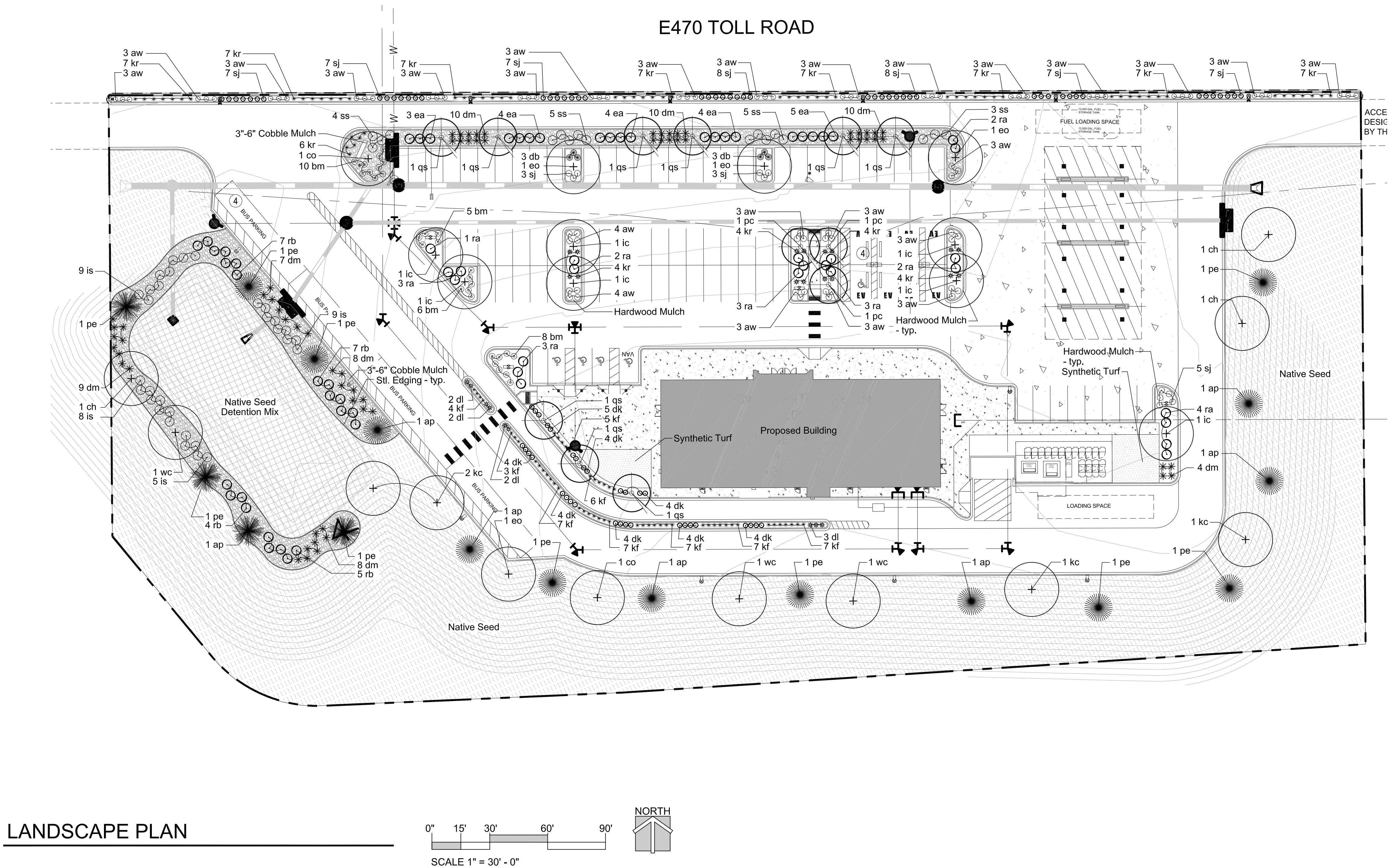
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PIN XXXXXXXXXXXXX

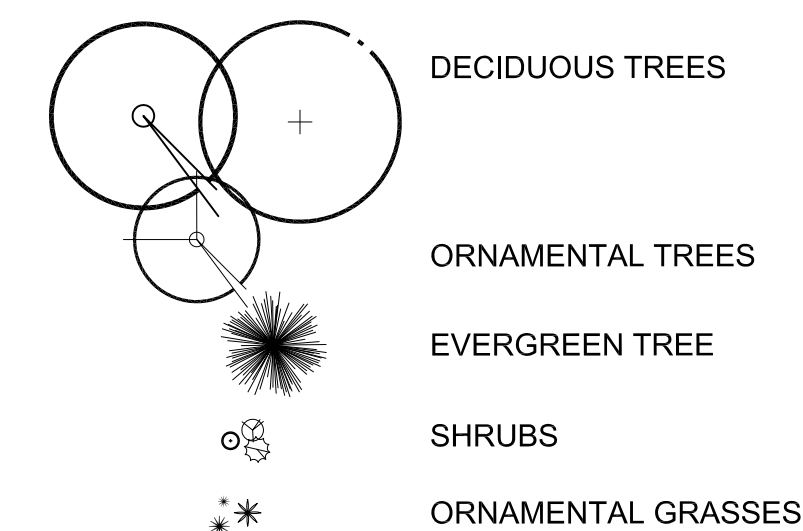
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CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

Date	Submission / Revision
12/28/2021	1st DEV. Permit Sub.



LANDSCAPE LEGEND



Ground Covers		
REDTOP 2	0.1 LBS/ACRE	
SWITCHGRASS (PATHFINDER)	2.2 LBS/ACRE	
WESTERN WHEATGRASS (ARRIBA)	7.9 LBS/ACRE	
INDIAN SALTGRASS	1.0 LBS/ACRE	
WOOLY SEDGE	0.1 LBS/ACRE	
BALTIC RUSH	0.1 LBS/ACRE	
PRAIRIE CORDGRASS	1.0 LBS/ACRE	
ANNUAL RYE	10 LBS/ACRE	
NUTTALLS SUNFLOWER	0.1 LBS/ACRE	
WILD BERGAMOT	0.12 LBS/ACRE	
YARROW	0.06 LBS/ACRE	
BLUE VERAIR	0.12 LBS/ACRE	

MIX RATIO: SEEDING RATE - 20lbs/acre	
10% ALKALI SACATON - Sporobolus airoides	
10% INLAND SALTGRASS - Distichlis spicata	
10% NUTTALL'S ALKALIGRASS - Puccinellia nuttalliana	
10% PRAIRIE CORDGRASS - Spartina pectinata	
10% SLENDER WHEATGRASS - Elymus trachycaulus spp.	
10% WESTERN WHEATGRASS - Pascopyrum smithii	
10% FOWL MANNAGRASS - Glycyrrhiza striata	
10% HARDSTEM BULRUSH - Scirpus acutus	
10% BALTIC RUSH - Juncus balticus	
10% CREEPING SPIKERUSH - Eleocharis palustris	

NON-HATCHED PLANTING AREAS	HARDWOOD MULCH
3"- 6" DIA. ROUND COBBLE	
STEEL EDGING WITH PROTECTIVE CAP	

STACKlot
LITTLETON, COLORADO 80120
WWW.STACKLOT.COM
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303.287.5525 | Fax 303.287.3897 | www.dcbi.com

LANDSCAPE PLAN
SHEET: 7 OF 16

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PIN XXXXXXXXXXXX

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PLANT MATERIAL SCHEDULE:

QUAN.	SYM.	COMMON/BOTANICAL NAME	INSTALLED SIZE	COND.	WATER NEEDS
<input type="checkbox"/> DECIDUOUS TREES					
5	kc	KENTUCKY COFFEE TREE Gymnocladus dioicus	2" CAL. SINGLE TRUNK	B & B	xeric
7	lc	IMPERIAL HONEYLOCUST Gleditsia triacanthos inermis 'Redmond'	2" CAL. SINGLE TRUNK	B & B	xeric
3	wc	WESTERN CATALPA Catalpa speciosa	2" CAL. SINGLE TRUNK	B & B	xeric
3	ch	COMMON HACKBERRY Celtis Occidentalis	2" CAL. SINGLE TRUNK	B & B	xeric
2	co	CHINKAPIN OAK Quercus muehlenbergii	2" CAL. SINGLE TRUNK	B & B	MODERATE
4	eo	ENGLISH OAK Quercus robur	2" CAL. SINGLE TRUNK	B & B	LOW- MEDIUM
<input type="checkbox"/> ORNAMENTAL TREES					
3	pc	CHANTICLEER PEAR Pyrus calleryana	1 1/2" CAL. SINGLE TRUNK	B & B	MEDIUM
9	qs	CRIMSON SPIRE OAK Quercus crimschmidf	1 1/2" CAL. SINGLE TRUNK	B & B	MEDIUM
<input type="checkbox"/> EVERGREEN TREES					
10	pe	PONDEROSA PINE Pinus ponderosa	6' HT.	B & B	xeric
7	ap	AUSTRIAN PINE Pinus nigra	6' HT.	B & B	LOW - MEDIUM
<input type="checkbox"/> DECIDUOUS SHRUBS					
23	rb	RABBITBRUSH Chrysothamnus sp.	5 GAL.	CONT.	XERIC
17	ss	SNOWMOUND SPIREA Spiraea nipponica 'Snowmound'	5 GAL.	CONT.	LOW
22	ea	BURNING BUSH 'Dwarf Nana' Eounymus alata 'Dwarf Nana'	5 GAL.	CONT.	MEDIUM
6	db	DWARF NINEBARK Physocarpus opulifolius 'Nanus'	5 GAL.	CONT.	LOW
29	bm	BLUE MIST SPIREA Caryopteris x clandonensis	5 GAL.	CONT.	MEDIUM
32	is	ISANTI DOGWOOD Cornus sericea "Isanti"	5 GAL.	CONT.	LOW
77	aw	ANTHONY WATERER SPIREA Spirea japonica 'Anthony Waterer'	5 GAL.	CONT.	LOW
23	ra	GROW LOW FRAGRANT SUMAC Rhus aromatica 'Gro Low'	5 GAL.	CONT.	LOW
33	dk	DAKOTA SUNSPOT POTENTILLA Potentilla fruticosa 'Fargo'	5 GAL.	CONT.	LOW
62	sj	ST. JOHNS WORT Hypericum Frondosum 'Sunburst'	5 GAL.	CONT.	LOW
<input type="checkbox"/> ORNAMENTAL GRASSES					
53	kf	KARL FOERSTER FEATHER REED Calamagrostis acuti. 'Karl Foerster'	1 GAL.	CONT.	LOW
66	dm	DWARF MAIDEN GRASS Miscanthus sinensis 'Yaku Jima';	1 GAL.	CONT.	LOW
9	dl	DAYLILY DWARF He.erocallis 'Stella D'Oro'	1 GAL.	CONT.	xeric
78	kr	FOUNTAIN HARDY GRASS 'DWARF' Pennisetum alopecuroides 'Hameln'	1 GAL.	CONT.	xeric

LANDSCAPE CALCULATIONS

SITE AREA: 194,937 SF.
PROVIDED LANDSCAPE AREA: 84,567.78 SF.
RIGHT OF WAY AREA: N/A
PARKING LOT
REQUIRED TREES (1/30 LF): 287 Inft. / 30 = 10 Trees
REQUIRED SHRUBS (5/30 SF): 244 Inft. / 30(5) = 48 shrubs
PROVIDED TREES: 6
PROVIDED SHRUBS: 63
STREET TREES - N/A
PARKING ISLANDS - 15 ISLANDS
REQUIRED TREES 1 TREE PER ISLAND = 15
REQUIRED SHRUBS 6 SHRUBS PER ISLAND = 90
PROVIDED TREES: 14 TREES
PROVIDED SHRUBS: 102
DETENTION PERIMETER(S): 428 LF.
REQUIRED TREES (1/50 LF): 9 TREES
REQUIRED SHRUBS (10/50 SF): 86 SHRUBS
PROVIDED TREES: 10 TREES
PROVIDED SHRUBS: 86
BUFFER YARD - N/A
ENTIRE YARD - 84,567.78 SF.
REQUIRED TREES (1/600 SF): 141
REQUIRED SHRUBS (1/300 SF): 281
OVERALL PROVIDED TREES: 53
OVERALL PROVIDED SHRUBS: 530
TURF AREA:
MAXIMUM TURF AREA (50% LANDSCAPE AREA): 42,283.89 SF.
PROVIDED TURF AREA: 0 SF. (0%)
LIVE PLANT MATERIAL:
REQUIRED LIVE PLANT AREA (75% LANDSCAPE AREA): 63,425.84 SF.
PROVIDED LIVE PLANT AREA: 88%

GENERAL PLANTING NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS ($\frac{2}{3}$) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD ($\frac{1}{3}$) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- COMMERCIAL GRADE $\frac{3}{16}$ INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- PLANT SYMBOLS ON SHEET L1.0 ARE SYMBOLS ONLY. CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF PLANT SPECIES PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORTS AND CIVIL UTILITY LAYOUT PLANS.

PERFORMANCE GUARANTEE:

- ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF TWO YEARS FROM SUBSTANTIAL COMPLETION OF THE PROJECT.



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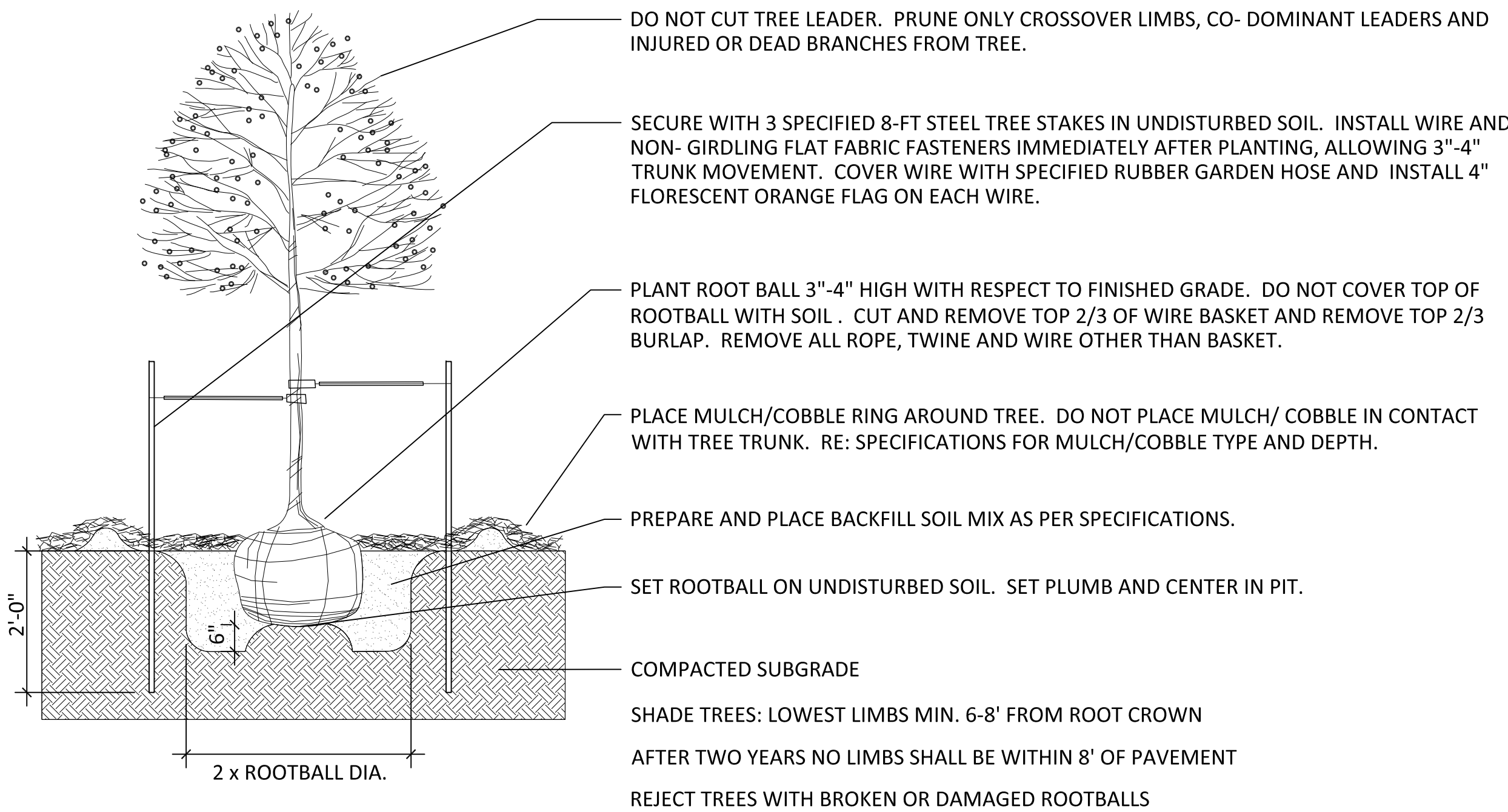
LANDSCAPE NOTES
SHEET: 8 OF 16

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PIN XXXXXXXXXXXXX

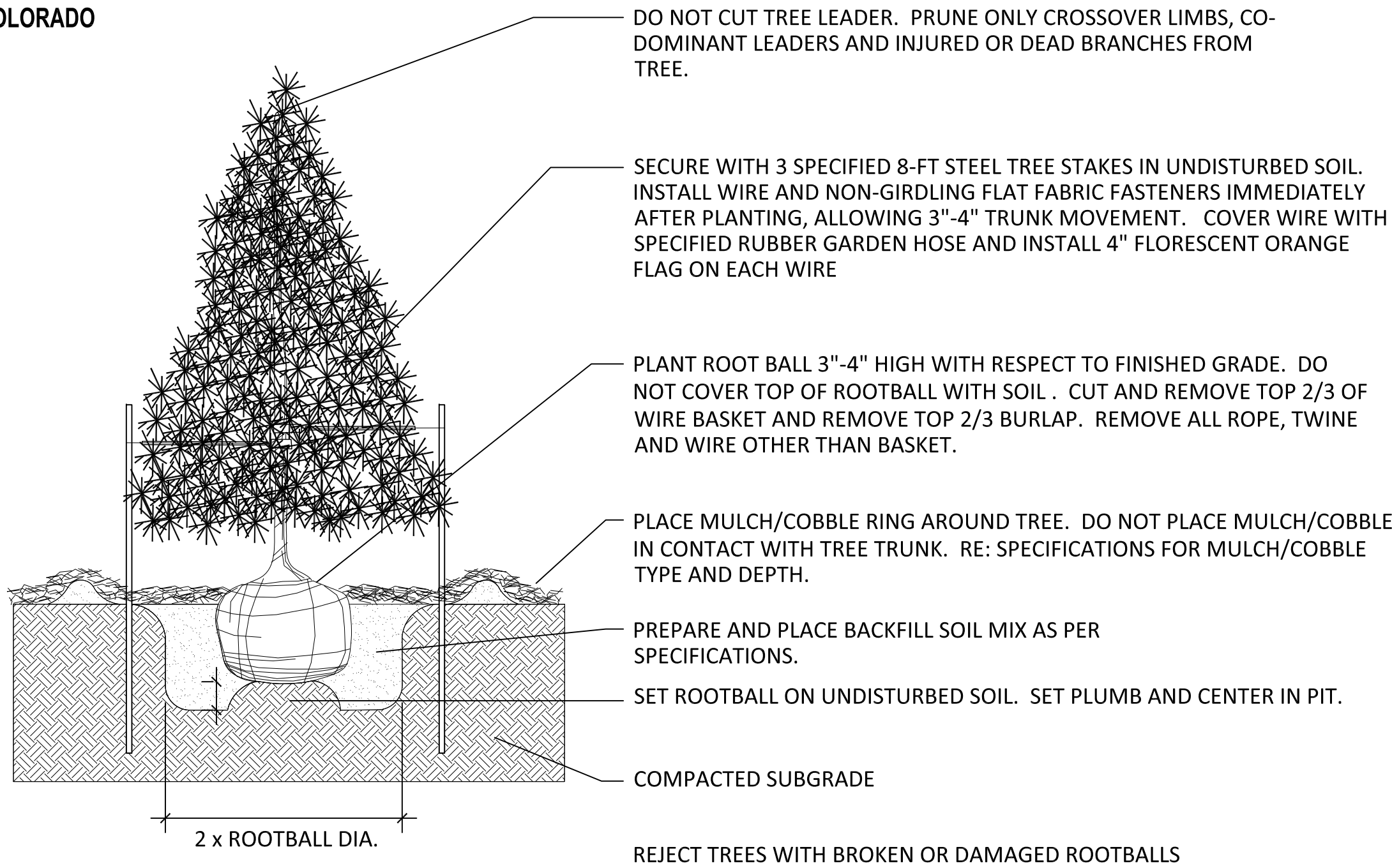
DEVELOPMENT PERMIT PLAN

A PORTION OF THAT PARCEL OF LAND AS SHOWN ON THE RIGHT-OF-WAY PLANS OF E-470 SEGMENT 2,
PREPARED FOR THE E-470 PUBLIC HIGHWAY AUTHORITY OF THE STATE OF COLORADO, FILED FOR RECORD IN
THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER AT RECEPTION NO. 2007-067 (BK. 1 PG. 3276),
SAID PARCEL OF LAND IS LOCATED IN THE SOUTHWEST QUARTER OF
SECTION 23, TOWNSHIP 2 SOUTH, RANGE 66 WEST, OF THE 6TH PM
CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



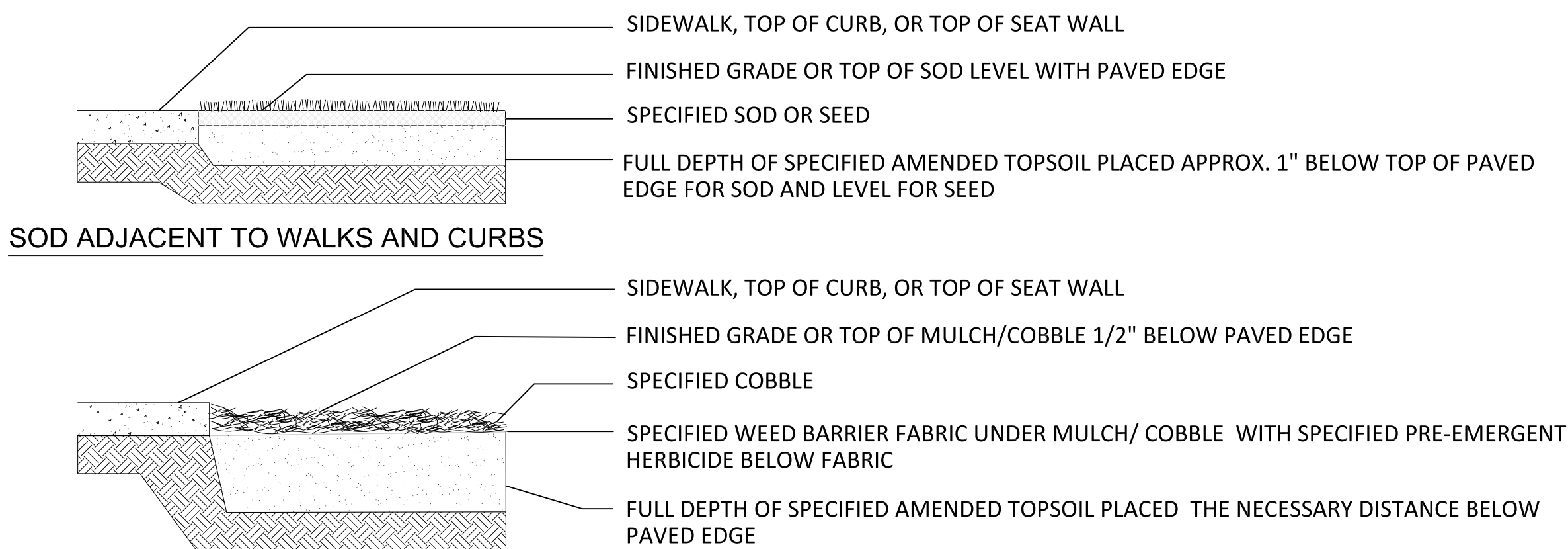
1 DECIDUOUS TREE

NOT TO SCALE

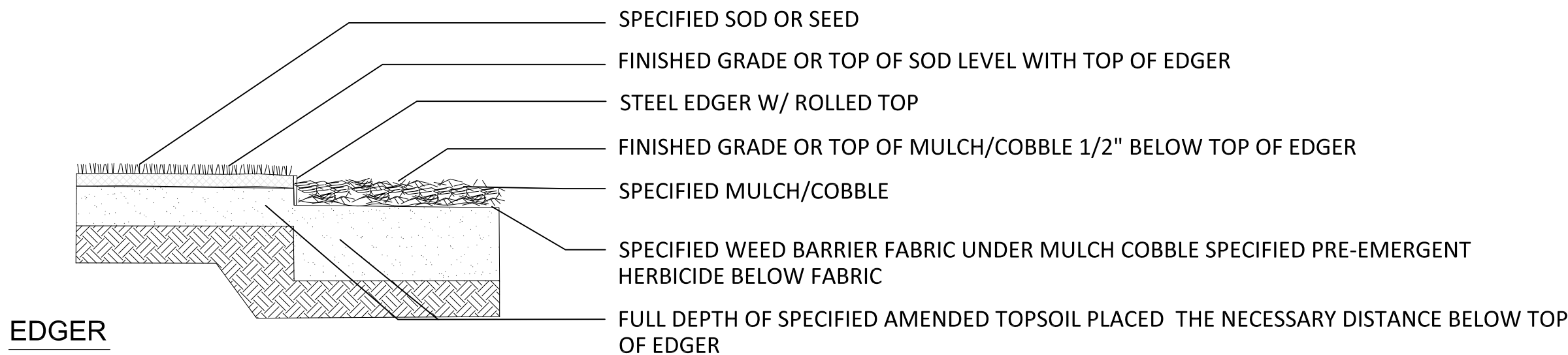


2 EVERGREEN TREE PLANTING

NOT TO SCALE

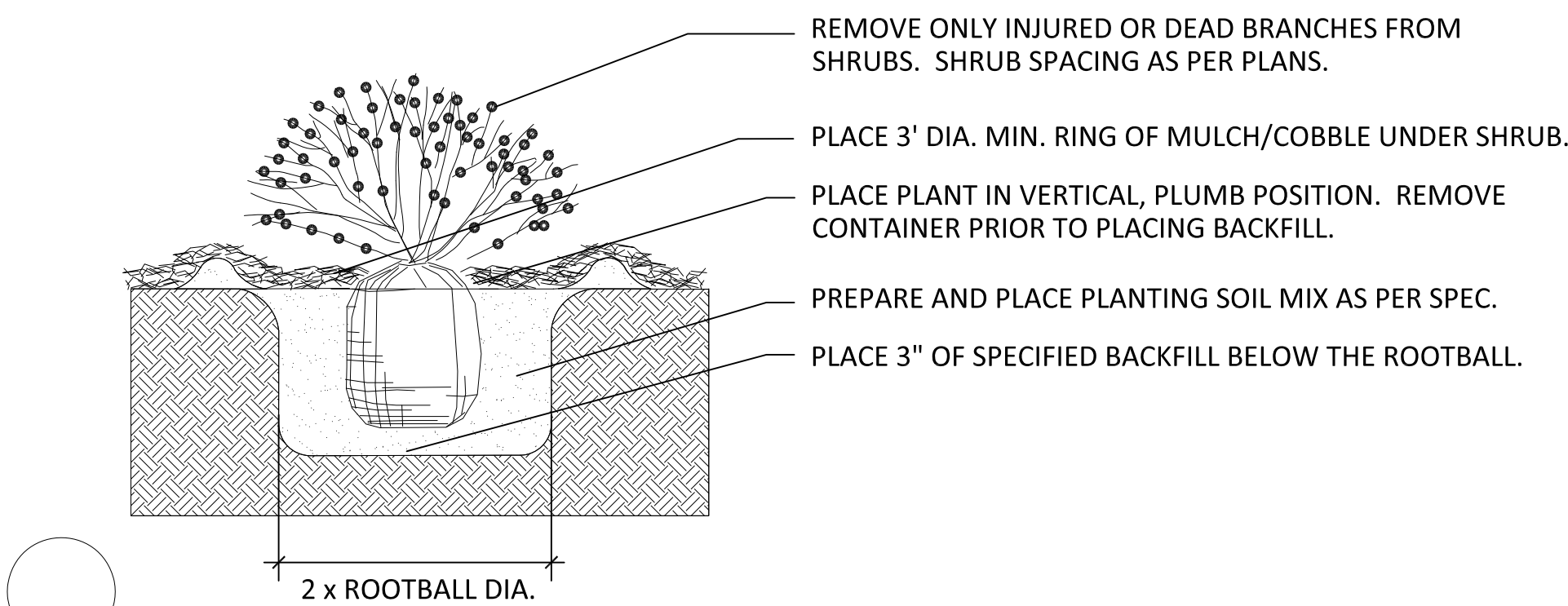


MULCH ADJACENT TO WALKS AND CURBS



3 EDGE TREATMENT

NOT TO SCALE



4 SHRUB PLANTING

NOT TO SCALE



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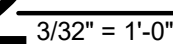
LANDSCAPE DETAILS
SHEET: 9 OF 16

9000 E-470 Commerce City Southbound

A PORTION OF THAT PARCEL OF LAND AS SHOWN ON THE RIGHT-OF-WAY PLANS OF E-470 SEGMENT 2, PREPARED FOR THE E-470 PUBLIC HIGHWAY AUTHORITY OF THE STATE OF COLORADO, FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER AT RECEPTION NO. 2007-067 (BK. 1 PG. 3276). SAID PARCEL OF LAND IS LOCATED IN THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 66 WEST, OF THE 6TH PM CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO



Required Spaces:	
Restrooms (A-Z):	5321 GSF/100 = 54 spaces
Commercial (M-B):	2842 GSF/ 300 = 10 spaces
Total Regular:	64 spaces
Total Pull-Through:	64 x 0.05 = 4 spaces
Total Required:	68 spaces
Provided Spaces:	
Regular:	65 spaces
Disabled:	4 spaces
Electrical Vehicle Charging:	8 spaces
Pull-Through:	4 spaces
Total Provided:	81 spaces

$$\frac{3}{32}'' = 1'-0''$$


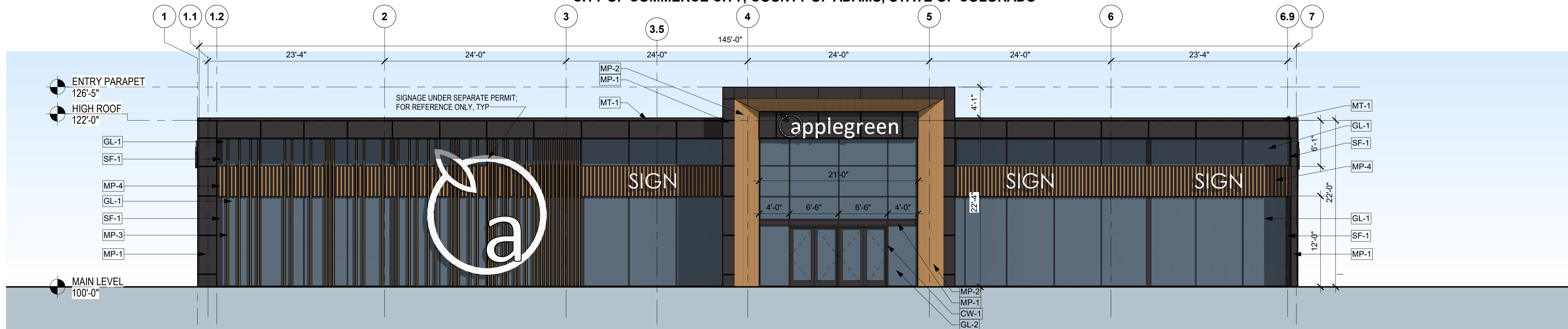
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9000 E-470 Commerce City Southbound

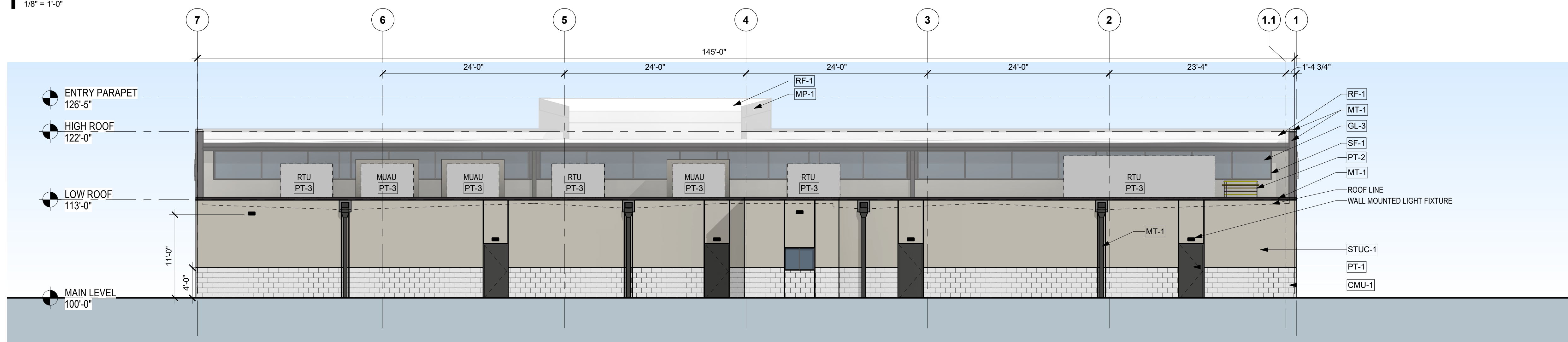
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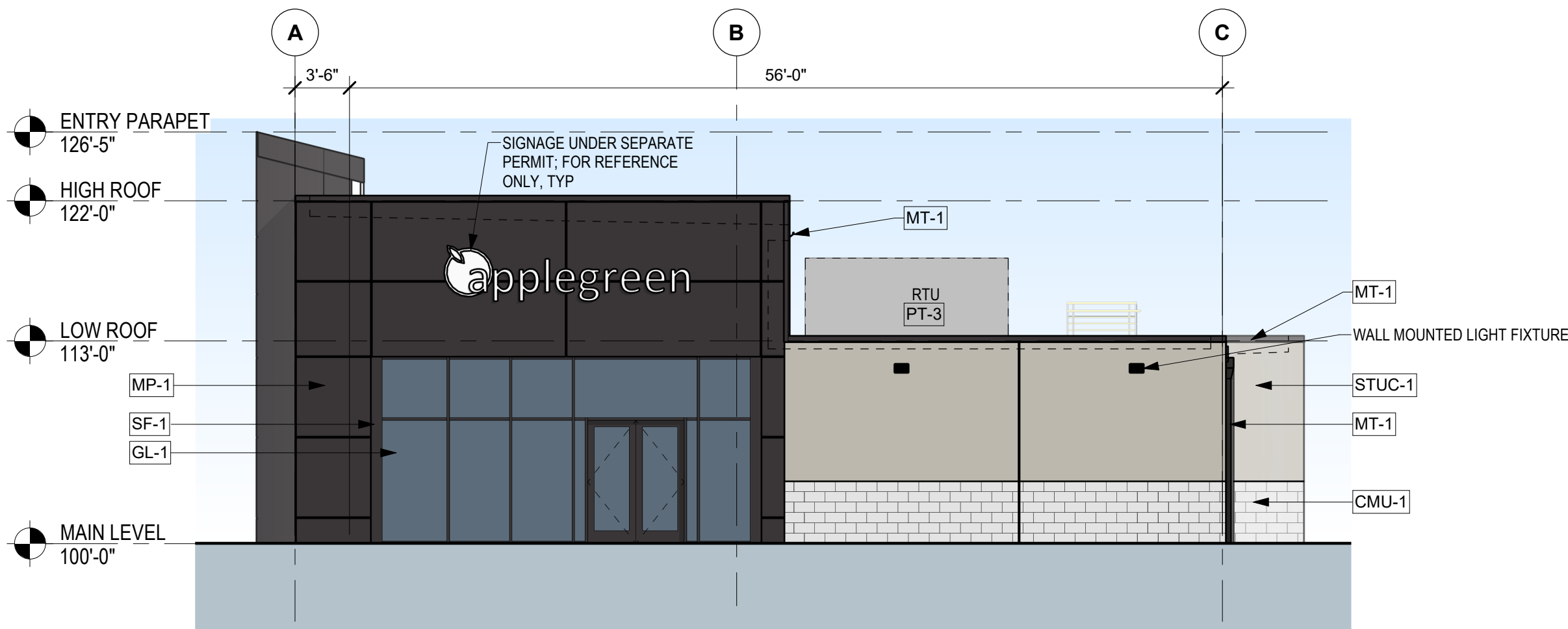
Date	Submission / Revision
12/30/2021	1st DEV. Permit Sub.



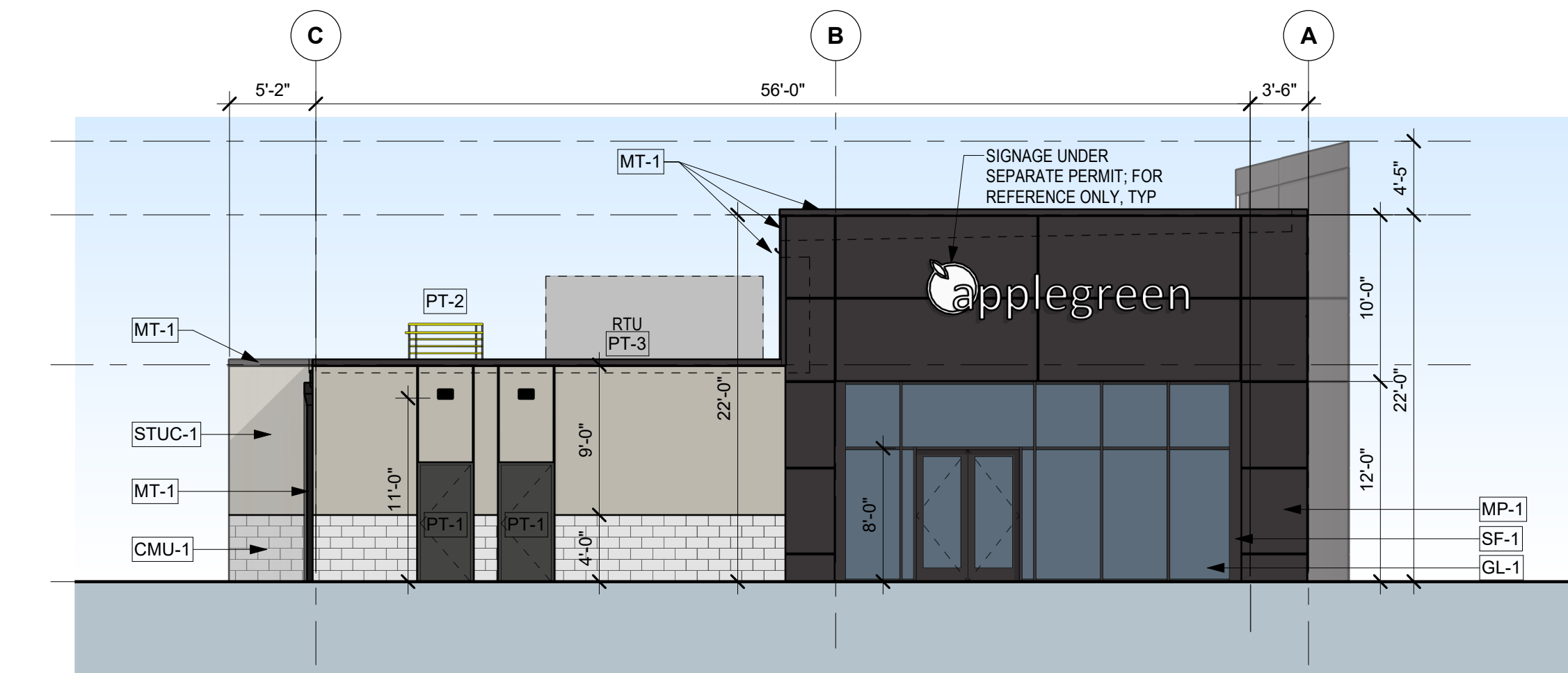
1 EAST ELEVATION



2 WEST ELEVATION



3 SOUTH ELEVATION



4 NORTH ELEVATION

MARK	DESCRIPTION/SIZE	MATERIAL	COLOR
CMU-1	CONCRETE MASONRY VENEER	CMU GROUND FACE VENEER	GRAY
STUC-1	EIFS WITH STUCCO FINISH	EIFS SMOOTH	GRAY
MP-1	ALUMINUM COMPOSITE METAL PANEL	ARCHITECTURAL METAL PANEL	BLACK
MP-2	FAUX WOOD METAL PANEL	ARCHITECTURAL METAL PANEL	WOOD LOOK
MP-3	FAUX WOOD METAL - LOUVERS/BLADES	ARCHITECTURAL METAL PANEL	WOOD LOOK
MP-4	FAUX WOOD METAL - SLATS	ARCHITECTURAL METAL PANEL	WOOD LOOK
SF-1	ALUMINUM STOREFRONT SYSTEM	ALUMINUM	ANODIZED BLACK
GL-1	STOREFRONT GLAZING	GLASS	INS.
CW-1	CURTAINWALL SYSTEM	ALUMINUM	ANODIZED BLACK
GL-2	CURTAINWALL GLAZING	GLASS	INS.
GL-3	CLERESTORY GLAZING	GLASS	INS. 25 VT
RF-1	TPO	MEMBRANE	WHITE
MT-1	METAL FASCIA; GUTTERS; TRIM; CAP FLASHING; MISC	PRE-FINISHED METAL	BLACK
PT-1	EXTERIOR PAINT - DOORS, RAILINGS, EXP. STRUCTURE	PAINTED METAL	BLACK
PT-2	SAFETY RAILINGS, CONCRETE FILLED BOLLARDS	PAINTED METAL	SAFETY YELLOW
PT-3	ROOF TOP EQUIPMENT	PAINTED METAL	GRAY

BUILDING ELEVATIONS
SHEET:11 OF 16

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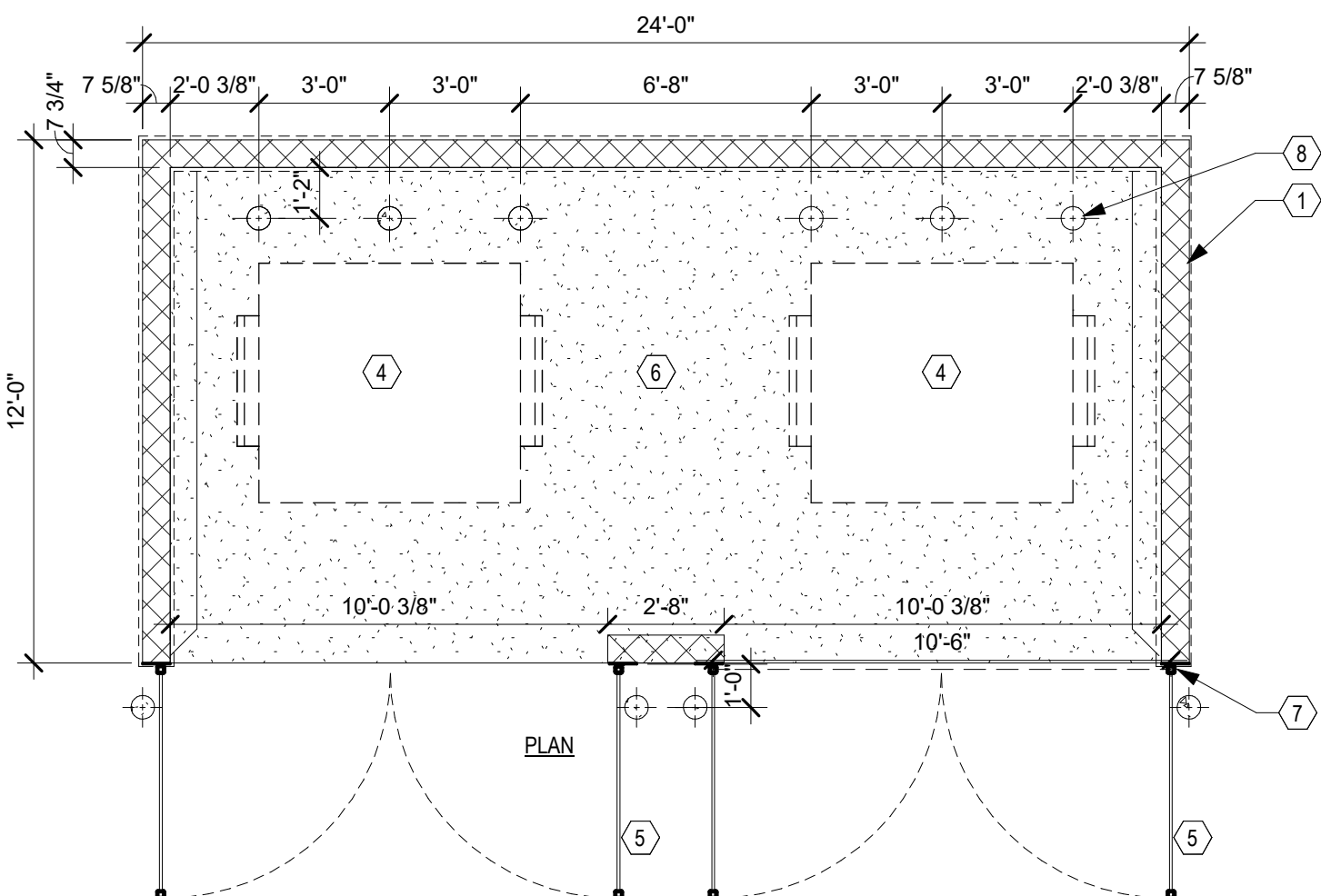
A PORTION OF THAT PARCEL OF LAND AS SHOWN ON THE RIGHT-OF-WAY PLANS OF E-470 SEGMENT 2, PREPARED FOR THE E-470 PUBLIC HIGHWAY AUTHORITY OF THE STATE OF COLORADO, FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER AT RECEPTION NO. 2007-067 (BK. 1 PG. 3276). SAID PARCEL OF LAND IS LOCATED IN THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 2 SOUTH, RANGE 66 WEST, OF THE 6TH PM CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

EXTERIOR FINISH AND COLOR SCHEDULE			
MARK	DESCRIPTION/SIZE	MATERIAL	COLOR
CMU-1	CONCRETE MASONRY VENEER	CMU GROUND FACE VENEER	GRAY
MP-2	FAUX WOOD METAL PANEL	ARCHITECTURAL METAL PANEL	WOOD LOOK
PT-1	EXTERIOR PAINT - DOORS, RAILINGS, EXP. STRUCTURE	PAINTED METAL	BLACK
PT-2	SAFETY RAILINGS, CONCRETE FILLED BOLLARDS	PAINTED METAL	SAFETY YELLOW

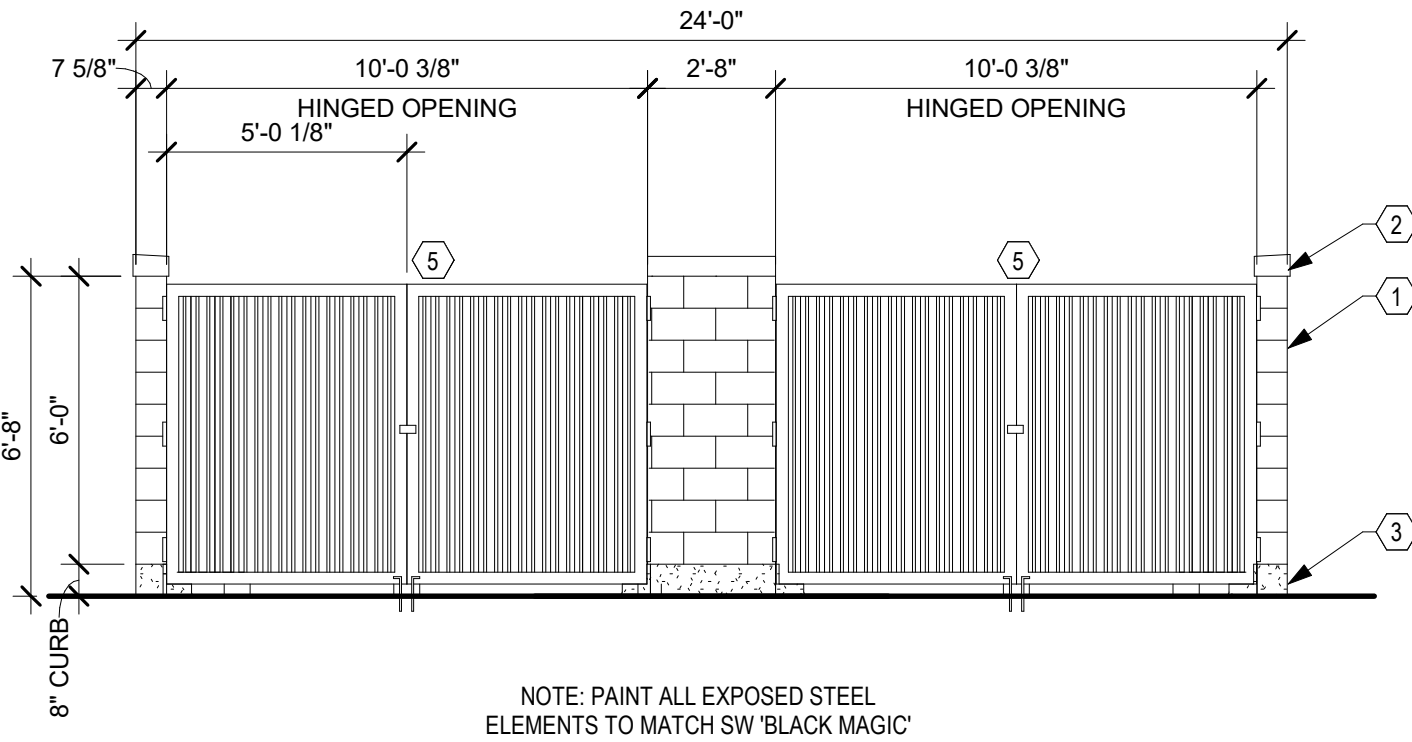
SITE DETAILS KEYNOTES

- 8"x8"x16" GROUND-FACE CMU, COLOR: NATURAL GRAY, RE: STRUCT.
- PRECAST CONCRETE CAP, ACID WASHED PRECAST CONCRETE CAP, RE: SPECIFICATIONS
- PARGED FINISH ABOVE GRADE
- WASTE CONTAINER PROVIDED BY WASTE MANAGEMENT CO
- 16 GA. 1.5" HSB-36 B DECK INFILL PANEL WITH HSS 4x2x3/16 PICTURE FRAMED DOORS WITH HSS 4x2x3/16 (LAID FLAT) X-BRACE - PAINT
- 6" CONCRETE SLAB
- (3) HEAVY DUTY HINGES AT EACH DOOR W/ LATCH & CANE BOLT
- 6" CONCRETE FILLED STEEL BOLLARD; SEE DETAIL

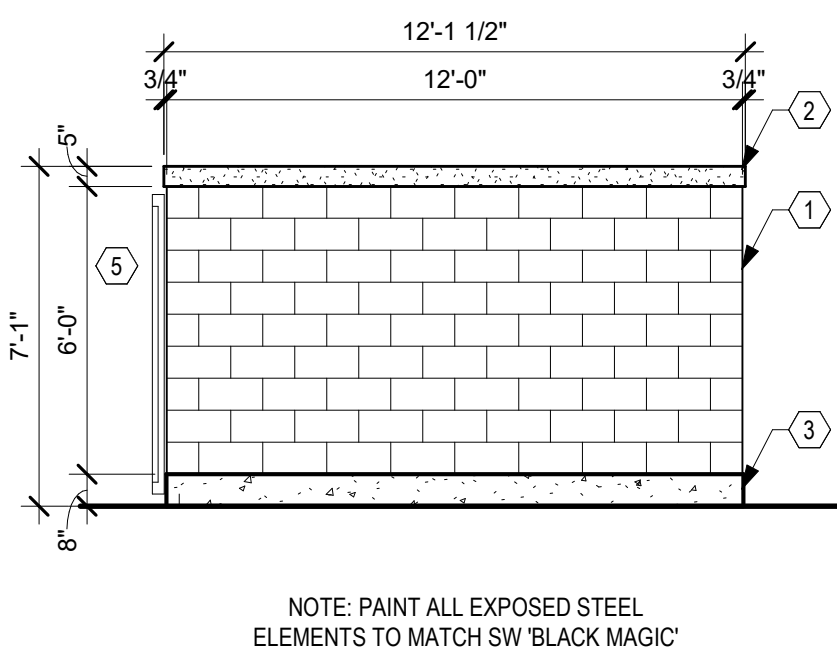
Date	Submission / Revision
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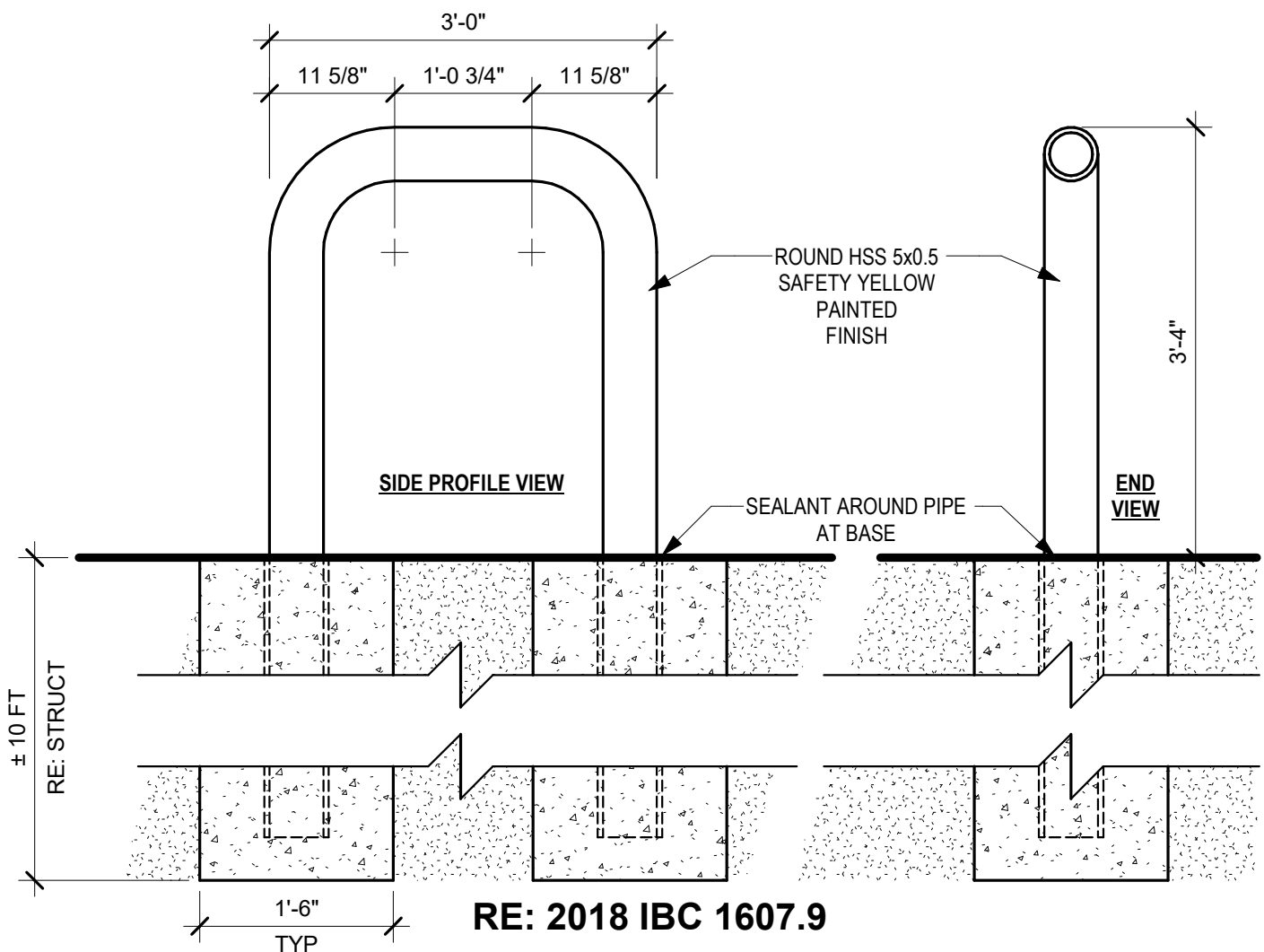
1 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



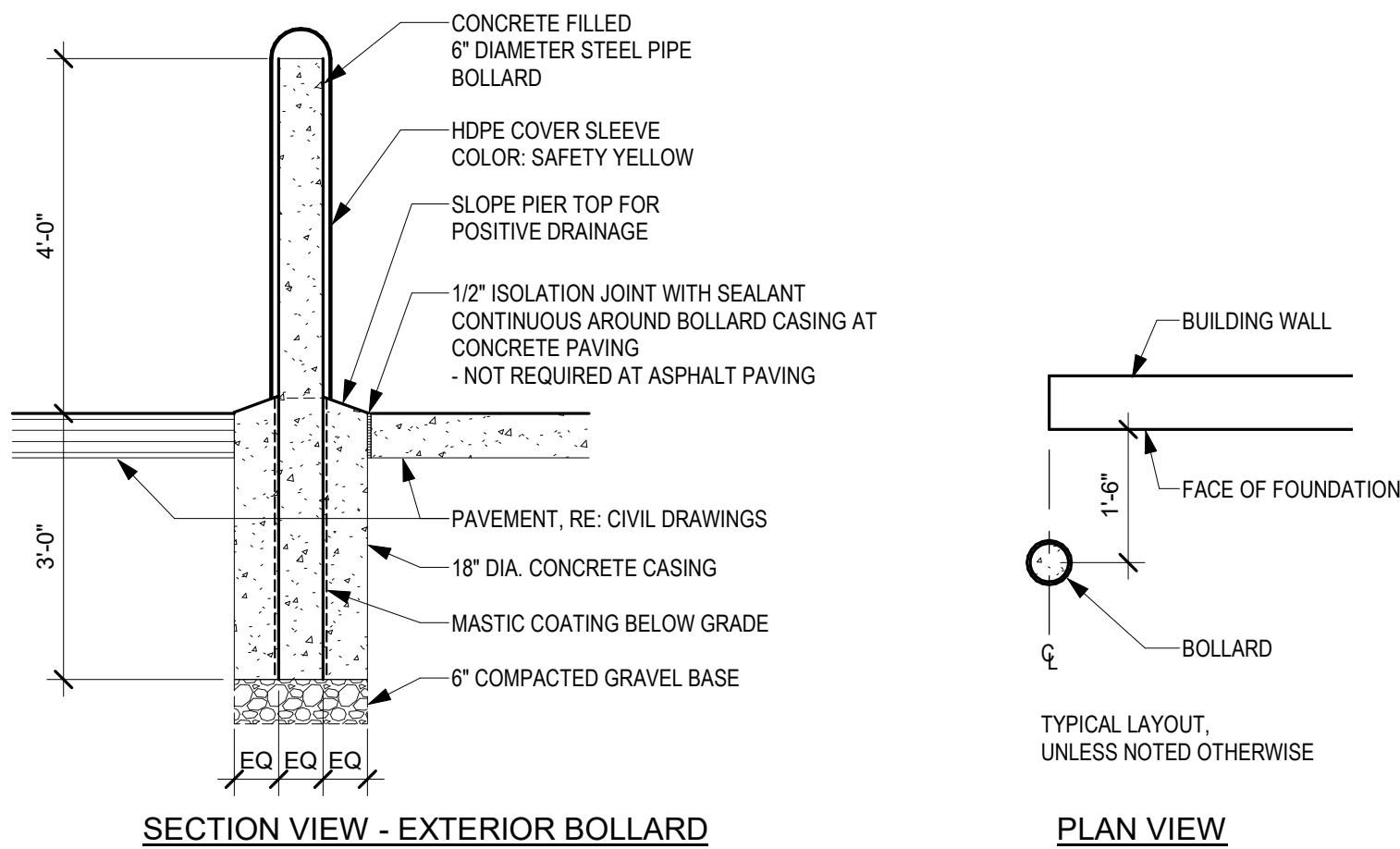
2 TRASH ENCLOSURE ELEV.
1/4" = 1'-0"



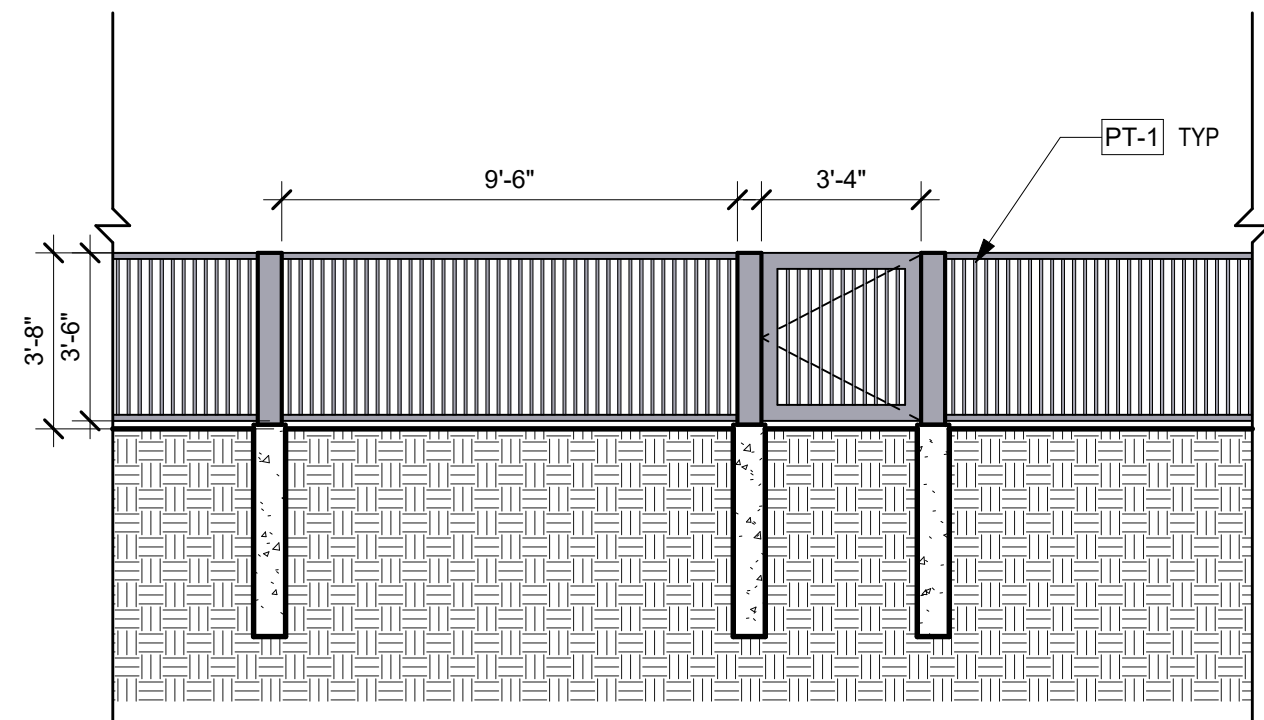
3 TRASH ENCLOSURE ELEV.
1/4" = 1'-0"



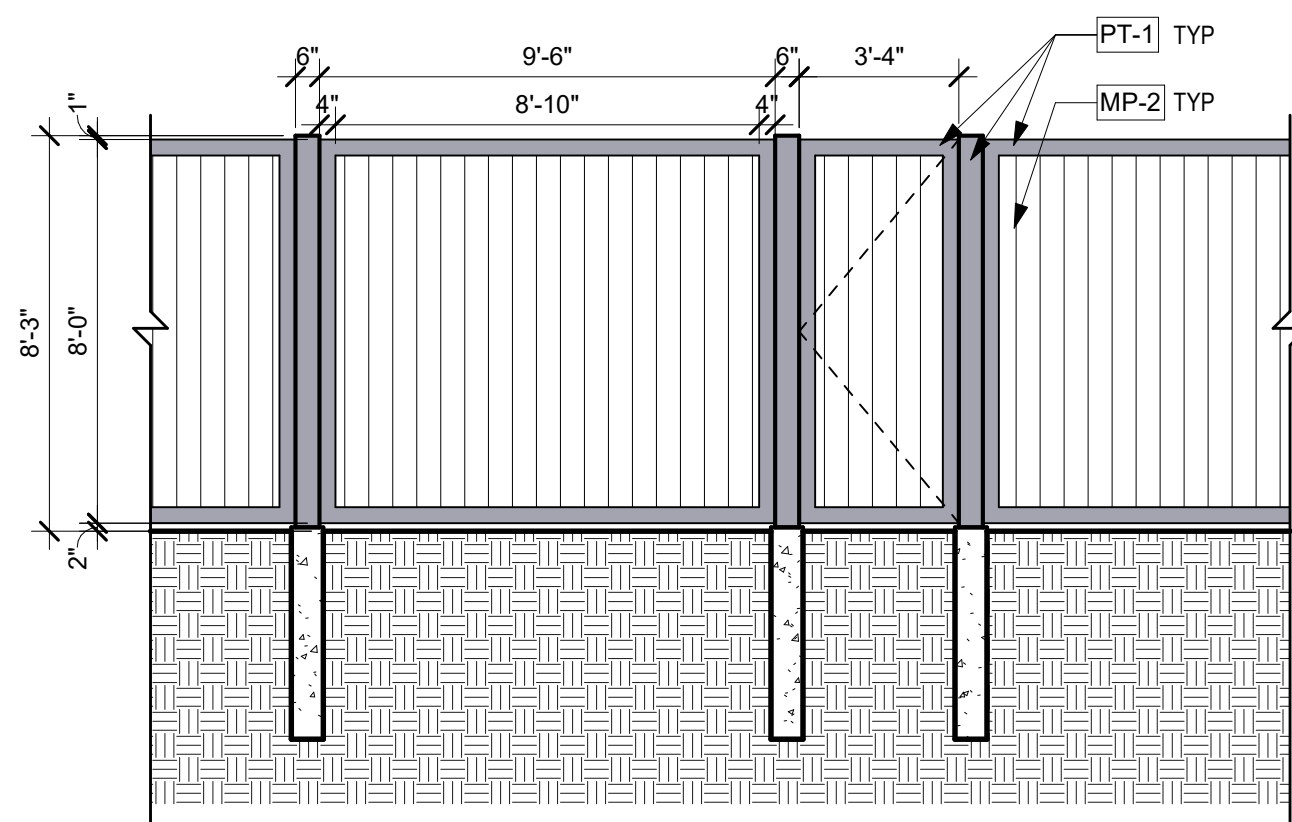
4 U-TYPE BOLLARD DETAIL
3/4" = 1'-0"



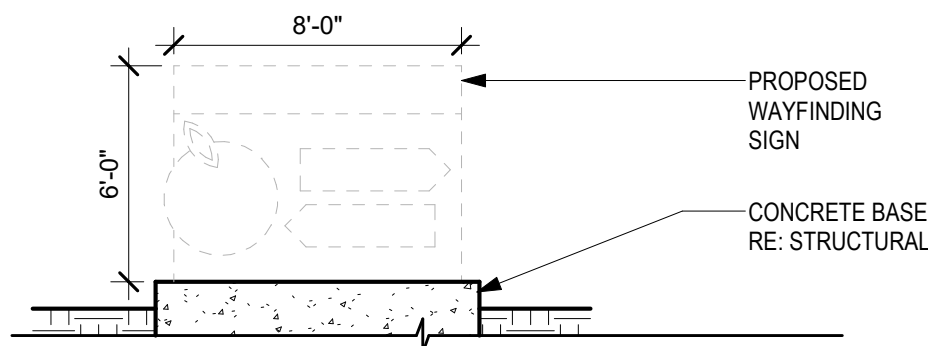
5 EXTERIOR BOLLARD DETAIL
1/2" = 1'-0"



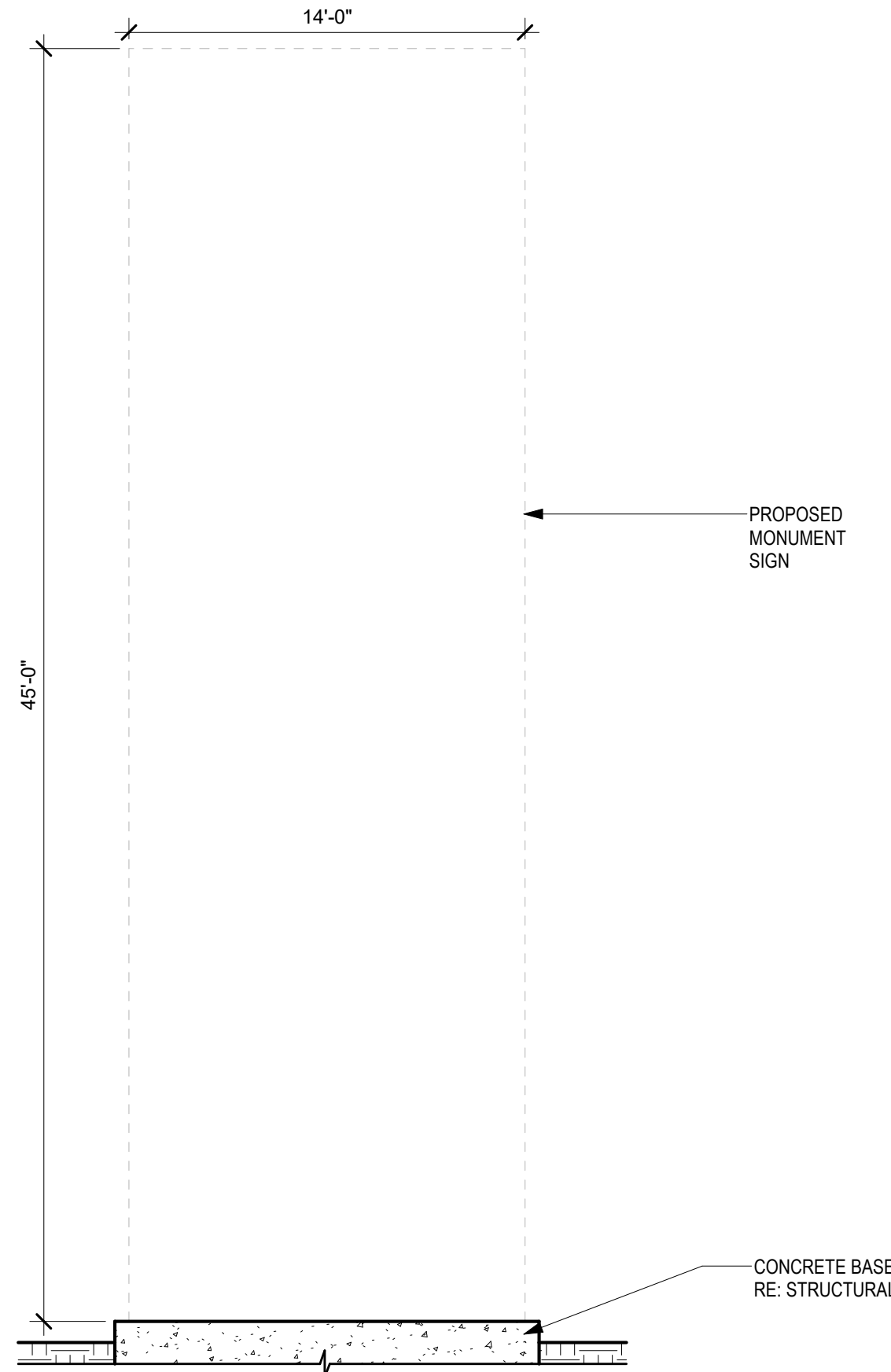
6 KIDS PLAY AND DOG PARK FENCE
1/4" = 1'-0"



7 TYPICAL FENCE
1/4" = 1'-0"



9 WAYFINDING SIGN
3/16" = 1'-0"



8 MONUMENT SIGN
3/16" = 1'-0"

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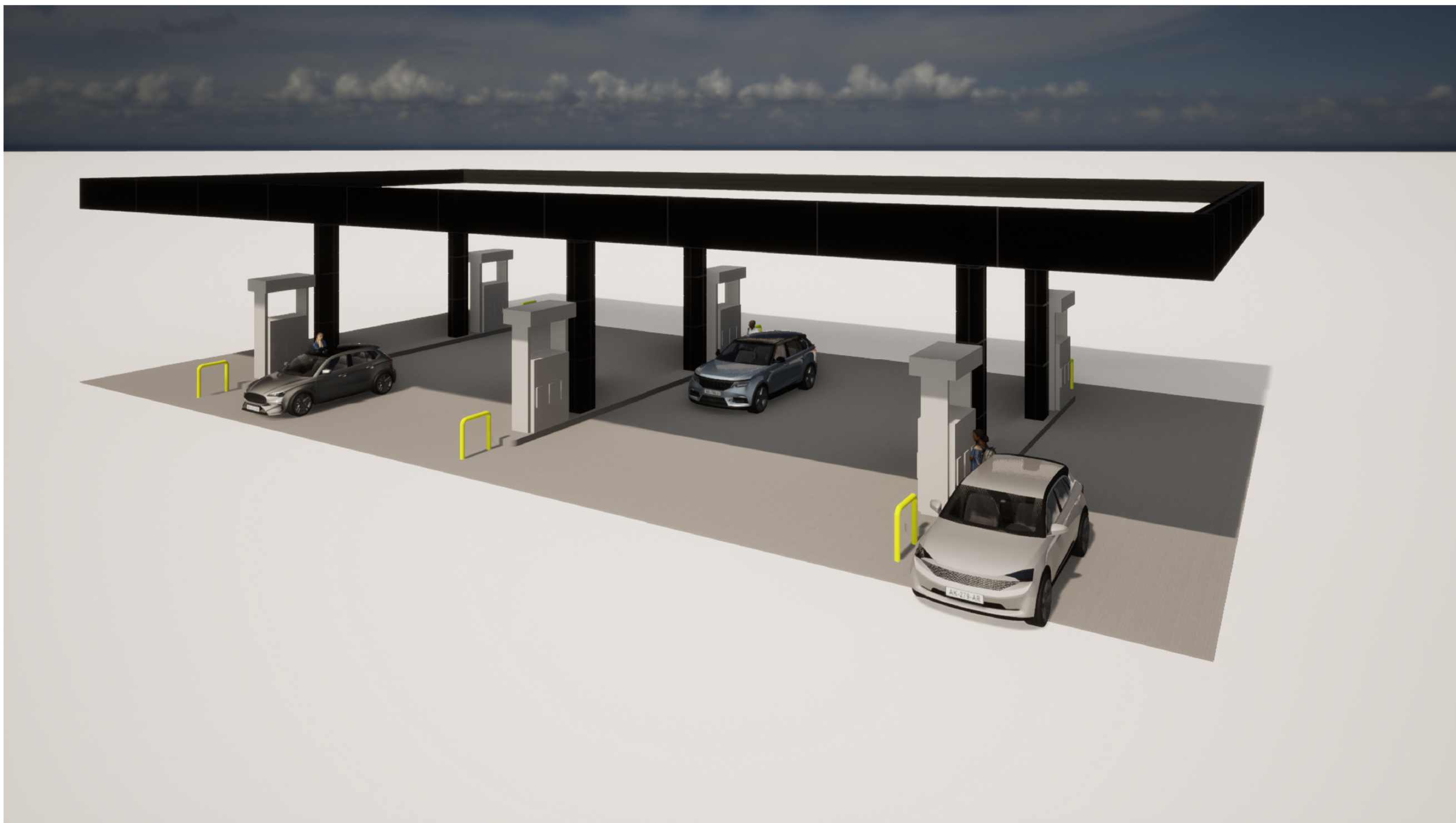
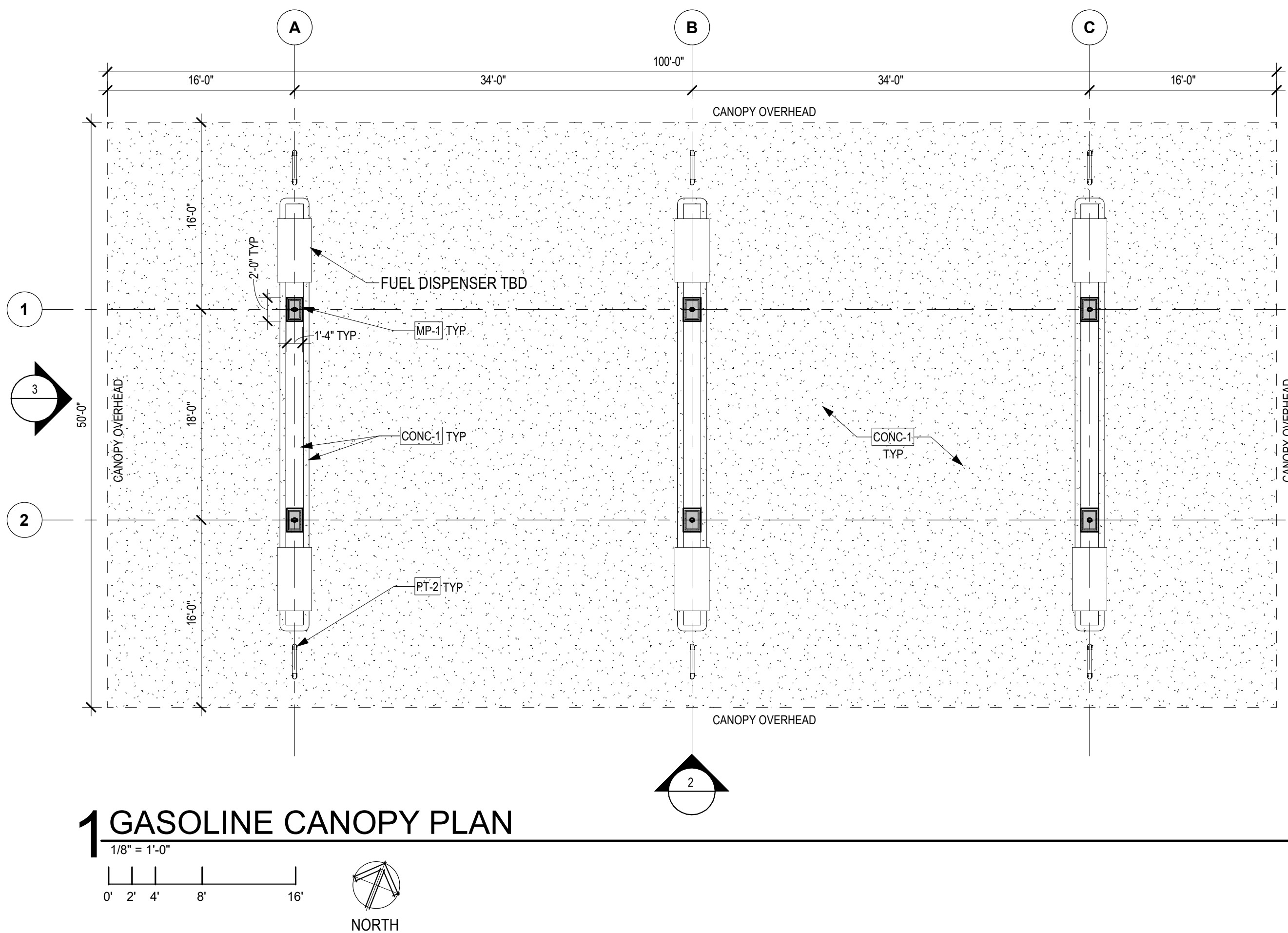
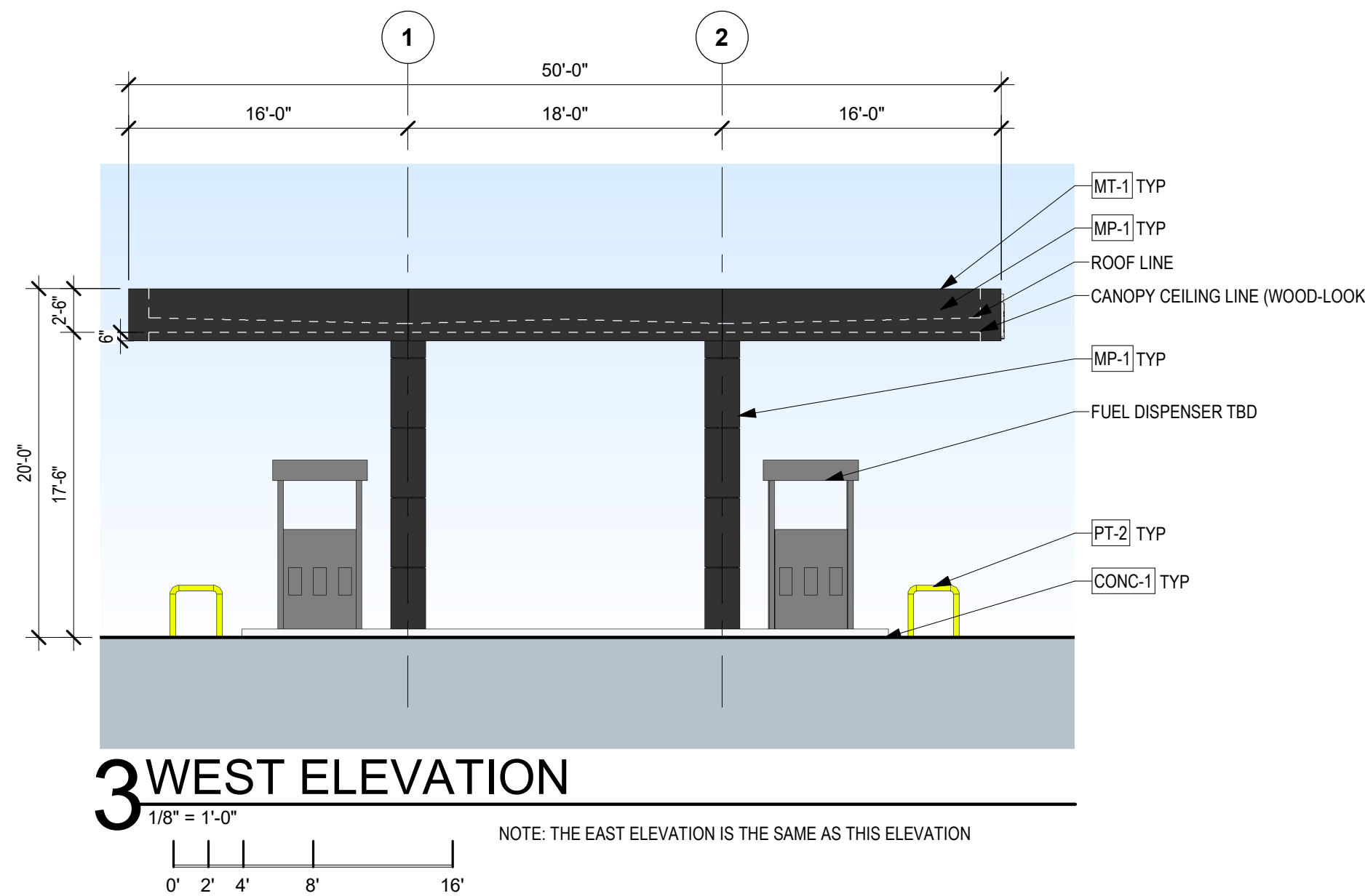
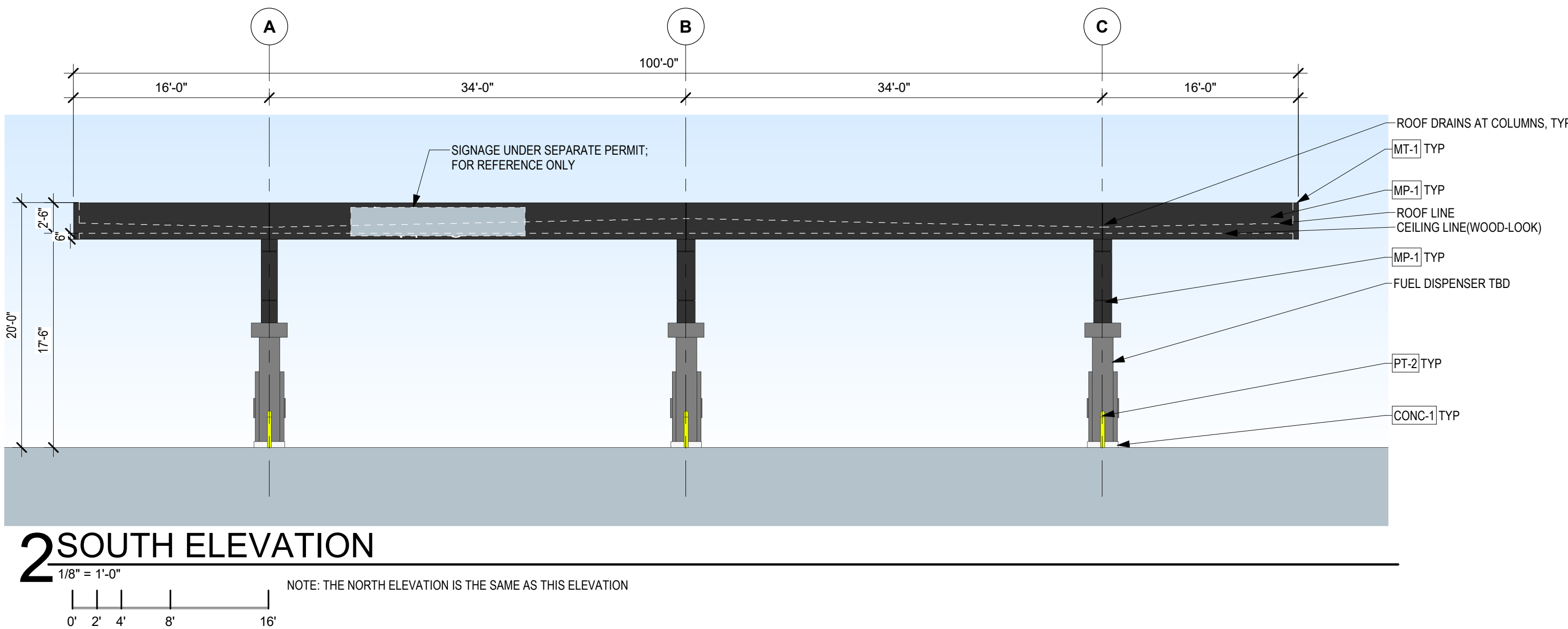
SITE DETAILS
SHEET:12 OF 16

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EXTERIOR FINISH AND COLOR SCHEDULE			
MARK	DESCRIPTION/SIZE	MATERIAL/MODEL NUMBER	COLOR
CONC-1	FUELING SLAB	CONCRETE	NATURAL GRAY
TPO-1	TPO ROOFING	TPO	WHITE
MT-1	METAL FASCIA; GUTTERS; TRIM; CAP FLASHING; MISC	PRE-FINISHED METAL	MATCH SW 6991 'BLACK MAGIC'
PT-2	CONCRETE FILLED BOLLARDS	PAINTED METAL	'SAFETY YELLOW'
MP-1	ALUMINUM COMPOSITE METAL PANEL	ARCH. METAL PANEL	BLACK

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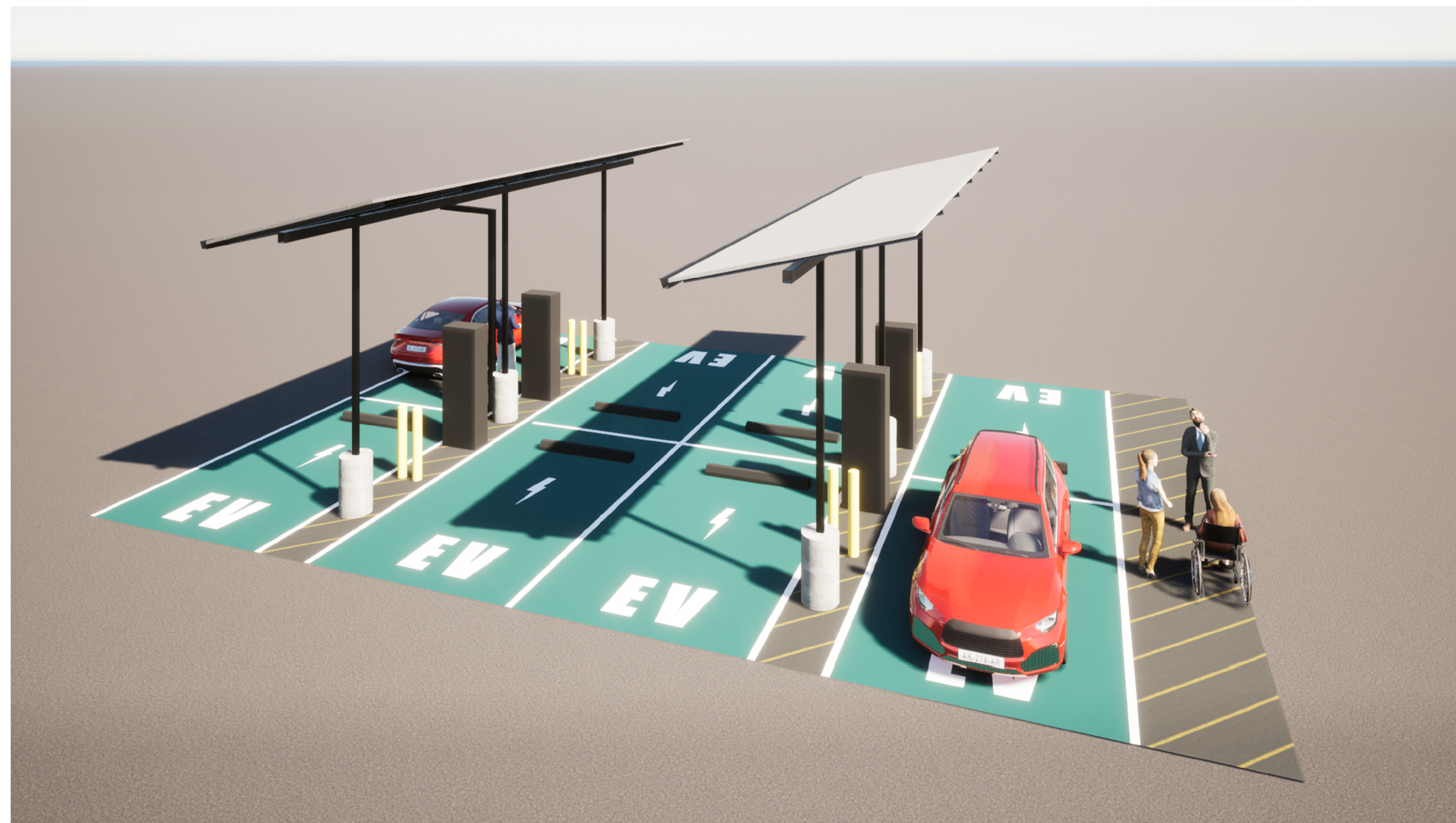
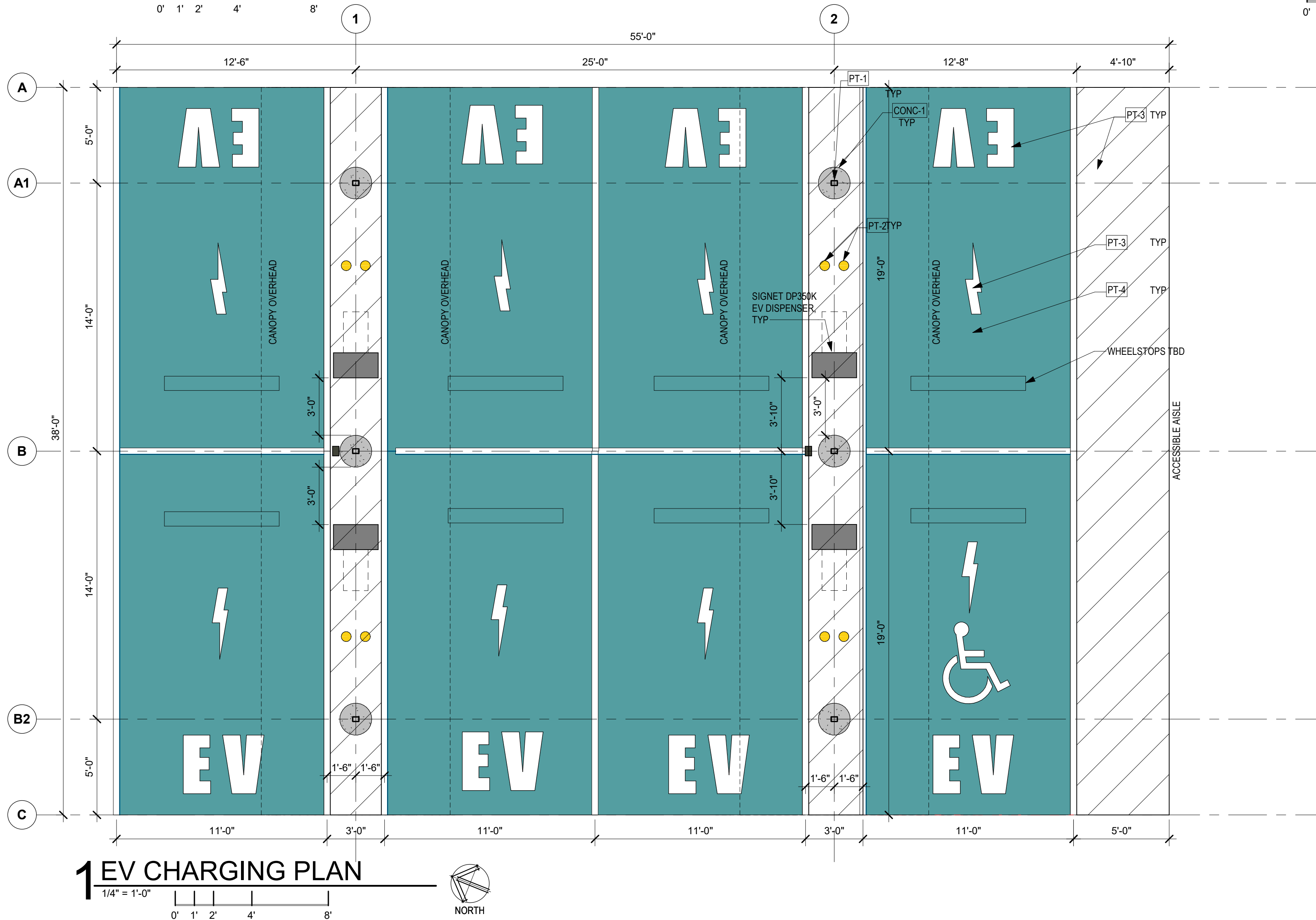
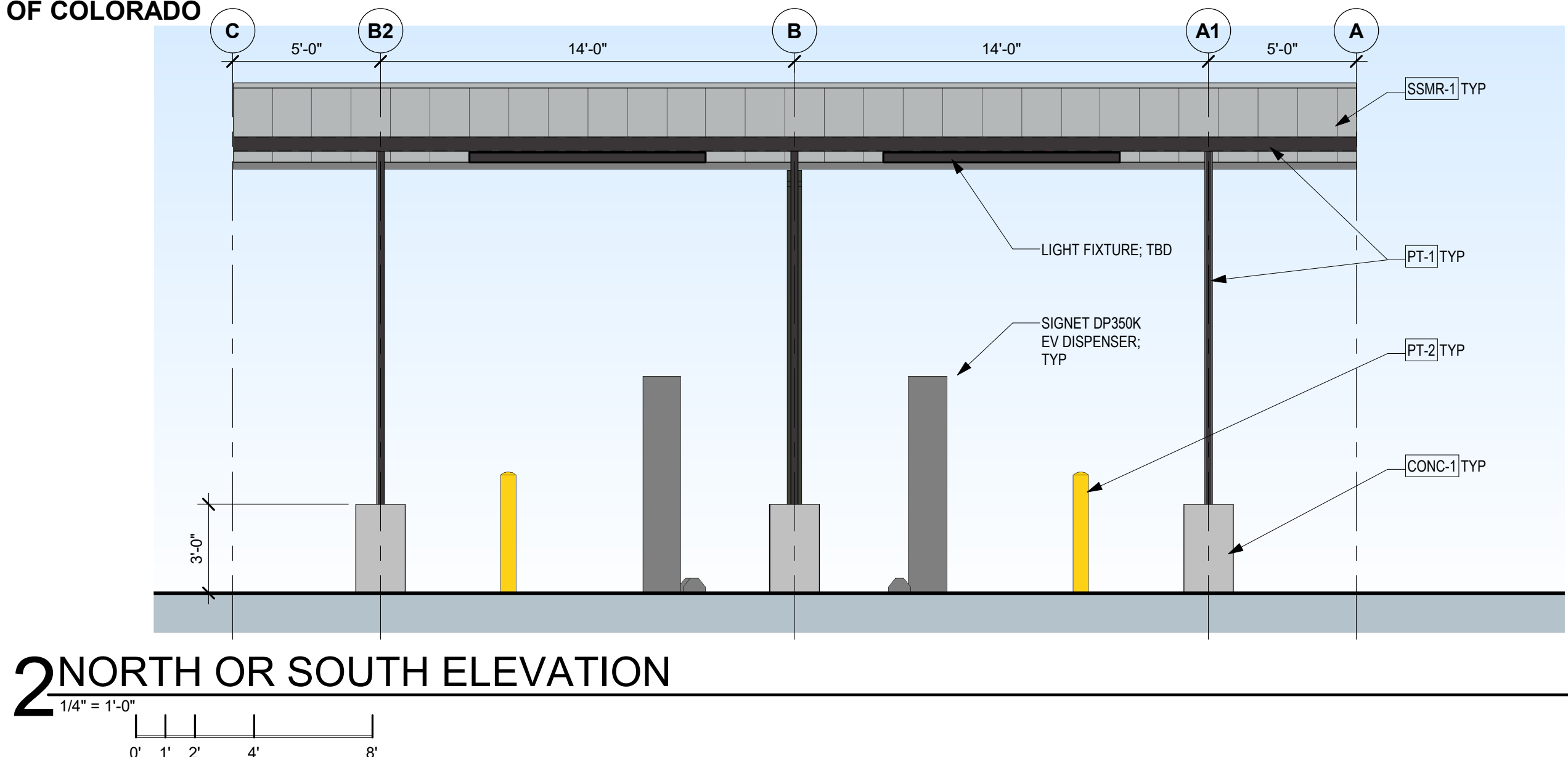
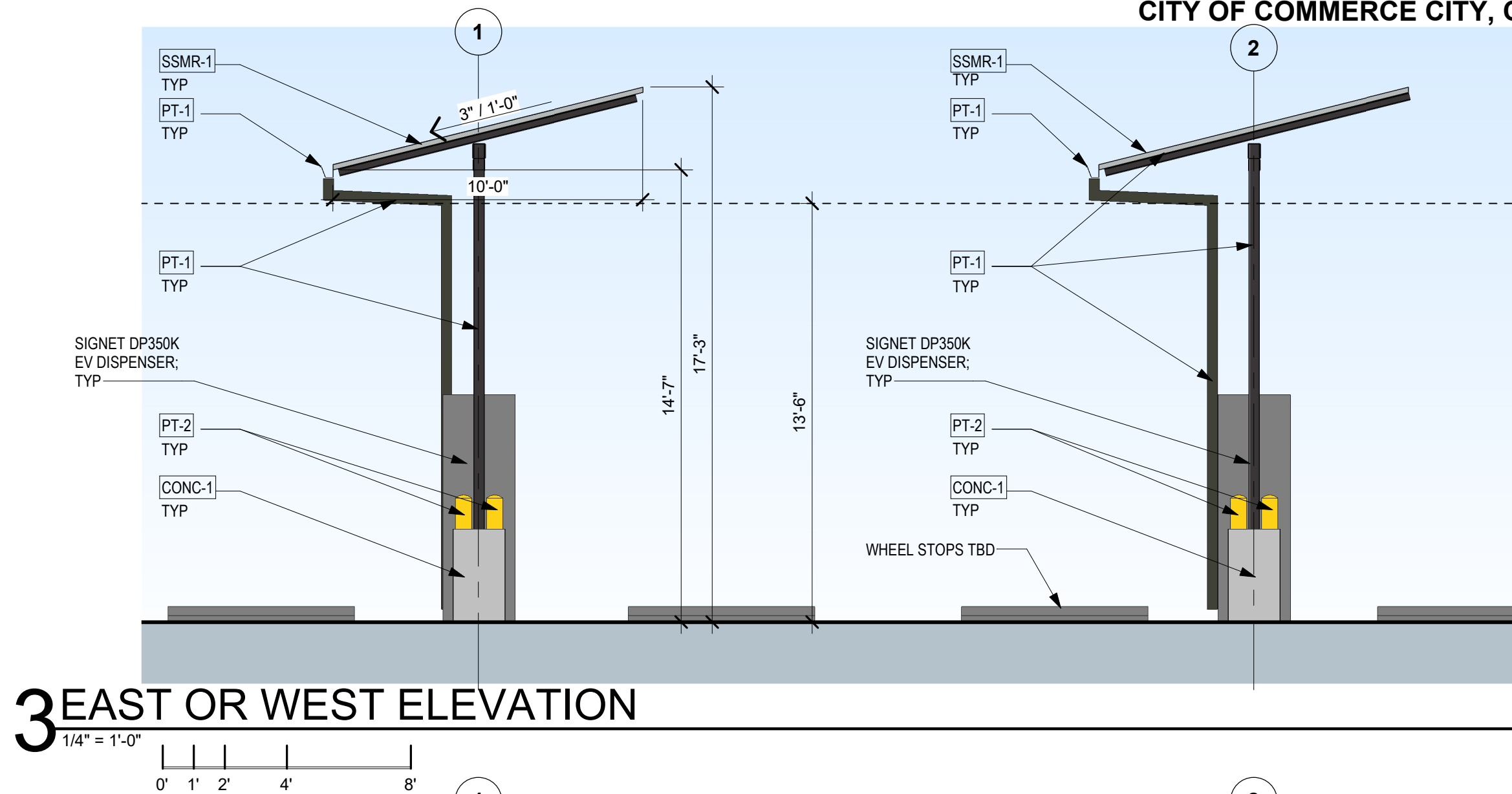
GASOLINE
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CANOPY
SHEET:13 OF 16

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DEVELOPMENT PERMIT PLAN

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EXTERIOR FINISH AND COLOR SCHEDULE			
MARK	DESCRIPTION/SIZE	MATERIAL	COLOR
CONC-1	CAST-IN-PLACE CONCRETE COLUMN BASES	CONCRETE	NATURAL W/ PARGE COAT FINISH
SSMR-1	STANDING SEAM METAL ROOF	PRE-FINISHED METAL	CHARCOAL GRAY
MT-1	METAL FASCIA; GUTTERS; TRIM; CAP FLASHING; MISC	PRE-FINISHED METAL	BLACK
PT-1	EXP. STRUCTURE	PAINTED METAL	BLACK
PT-2	CONCRETE FILLED BOLLARDS	PAINTED METAL	SAFETY YELLOW
PT-3	PARKING LOT LINES AND SYMBOLS	ACRYLIC-BASED PAINT	HIGH REFLECTIVE WHITE
PT-4	EV PARKING SPOT INFILL COLOR	ACRYLIC-BASED PAINT	SW GREEN BAY

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EV Canopy
SHEET: 14 OF 16

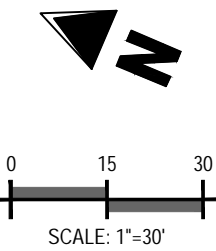
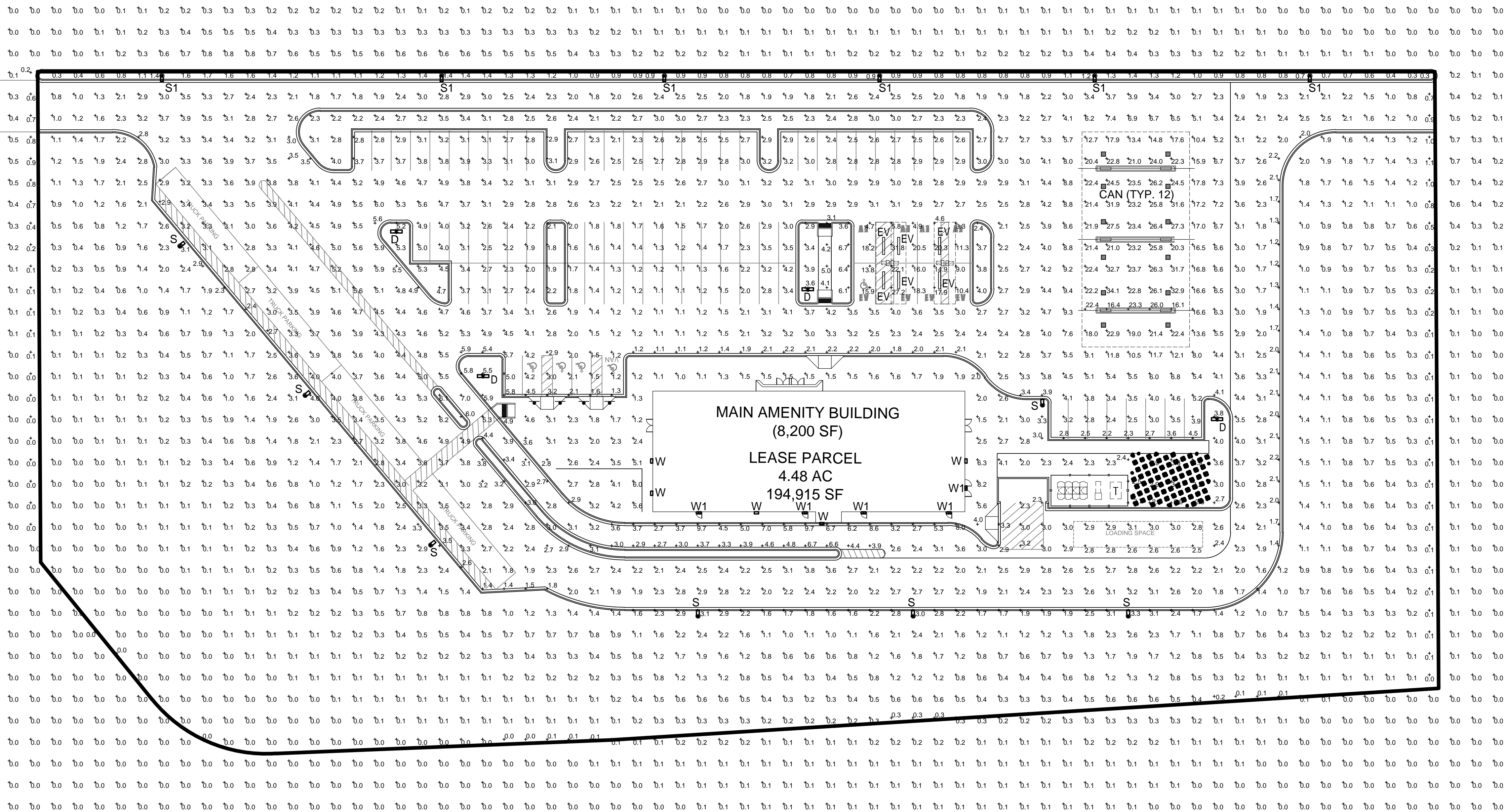
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CITY OF COMMERCE CITY, COUNTY OF ADAMS, STATE OF COLORADO

Date	Submission / Revision
12/17/2021	1st DEV. Permit Sub.



NOTES:

PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE STUDY IS BASED ON REQUESTED ILLUMINATION LEVELS, LUMINAIRE LOCATIONS, OR ADDITIONAL CRITERIA BY THE AUTHORITIES HAVING JURISDICTION.

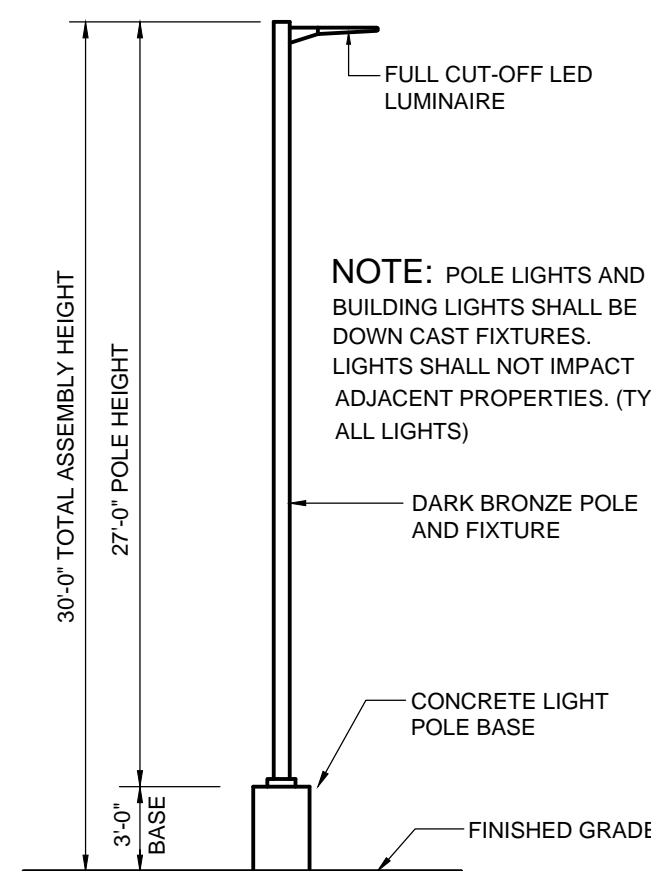
THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.

THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.

ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE; OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.

THE 30'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.

THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.



2 AREA LIGHT DETAIL

SCALE: NOT TO SCALE

1 PHOTOMETRIC SITE PLAN

SCALE: 1"=20'-0"

LUMINAIRE SCHEDULE

MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION
S		7	30'-0"	27'-0"	19664	149	SLM-18L-SIL-FIT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW OR APPROVED EQUAL
S1		6	30'-0"	27'-0"	12568	149	SLM-18L-SIL-FIT-UNV-50-70-BRZ-IL	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW WITH INTERNAL LOUVERS
D		4	30'-0"	27'-0"	19664	149	SLM-18L-SIL-FIT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, DOUBLE HEAD FLAT LENS FIXTURE, FORWARD THROW OR APPROVED EQUAL
CAN		12	15'-0"	N/A	13980	93	CRUS-SC-LED-SS-50-UE-WHT	LSI LIGHTING, LEGACY SERIES, SUPER SAVER DRIVER, FLAT LENS CANOPY FIXTURE
EV		6	14'-2"	N/A	4000	52	RN-D-4-4-10-5K8-SM-CL-UNV-BLT-PSW12	HUBBELL LIGHTING, RND LINEAR MOUNT LED DOWNLIGHT, 4' LENGTH, 5000K, 10 LUMENS/FT CLEAR LENS, BLACK COLOR, 12" PENDANT MOUNTING, OR APPROVED EQUAL
W		5	11'-0"	N/A	2167	15	XWS LED 02L FTW 50 UE BRZ	LSI LIGHTING, MIRADA SMALL (XWS) WALL MOUNT LUMINAIRE, 5000K CCT, 2000 LUMEN PACKAGE, BRONZE COLOR, W-BB WITH BATTERY BACK-UP OR APPROVED EQUAL
W1		5	8'-0"	N/A	2167	15	XWS LED 02L FTW 50 UE BRZ BB	LSI LIGHTING, MIRADA SMALL (XWS) WALL MOUNT LUMINAIRE, 5000K CCT, 2000 LUMEN PACKAGE, BRONZE COLOR, W-BB WITH BATTERY BACK-UP OR APPROVED EQUAL

ALL PROPOSED FIXTURES ARE FULL CUT-OFF FIXTURES

CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	MIN	MAX/MIN
DRIVE, PARKING, TRASH ENCLOSURE/AREA	FC	2.99	9.7	1.0	9.70 to 1
GASOLINE CANOPY	FC	19.93	34.1	8.0	4.26 to 1
EV CANOPY	FC	17.84	31.8	9.0	3.53 to 1

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PHOTOMETRIC
SITE PLAN
SHEET: 15 OF 16

DEVELOPMENT PERMIT PLAN

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